



MINUTES

ORDINARY COUNCIL MEETING HELD ON

Thursday 15 December 2022

Commenced at 6.02pm

Shire of Boyup Brook Council Chambers, Boyup Brook

Dale Putland
Chief Executive Officer

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1. DECLARATION OF OPENING/ANNOUNCEMENT OF VISITORS

We acknowledge and pay our respects to the traditional custodians of the land on which we meet and work.

2. RECORD OF ATTENDANCE

PRESENT:	Shire President	Richard F Walker
	Deputy Shire President	Helen C O’Connell
	Councillor	Sarah E G Alexander
		Steele Alexander
		Charles A D Caldwell
		Philippe Kaltenrieder
		Darren E King
		Kevin J Moir
	Chief Executive Officer	Dale Putland
	Deputy Chief Executive Officer	Carolyn Mallett
	Executive Assistant	Maria Lane
	Acting Executive Assistant	Maggie Le Grange
APOLOGIES:		Adrian Price
LEAVE OF ABSENCE:		Nil
MEMBERS OF PUBLIC:		Stephen Jackson
		Carina Wilson
		Celina Rath

3. RESPONSE TO PREVIOUS PUBLIC QUESTIONS TAKEN ON NOTICE

Nil

4. PUBLIC QUESTION TIME

Stephen Jackson left the Chamber at 6.20pm.

Carina Wilson and Celina Rath left the Chambers at 6.22pm.

Mr Jackson and Ms Rath asked a number of questions that were responded to by the CEO at the meeting.

5. PETITIONS/DEPUTATIONS/PRESENTATIONS/REPORTS

Nil

6. DISCLOSURE OF INTEREST

Cr Philippe Kaltenrieder – Proximity Interest - Item 10.4.1

7. CONFIRMATION OF MINUTES

7.1 Ordinary Council Minutes – 24 November 2022

COUNCIL DECISION & OFFICER RECOMMENDATION – ITEM 7.1

MOVED: Cr Philippe Kaltenrieder

SECONDED: Cr Darren E King

That the minutes of the Ordinary Council Meeting held on Thursday 24 November 2022 be confirmed as an accurate record.

CARRIED 8/0

Res 22/12/172

8. PRESIDENTIAL COMMUNICATIONS

Friday, 25 November 2022, 9am

Attended WALGA South West Zone meeting at Lesser Hall Boyup Brook
Outstanding presentation by Dale and Staff

Friday, 2 December 2022, 1.30pm

CMCA Flax Mill Caravan Park - met with CEO and Lee Holland
From 3pm onwards attended the Boyup Brook Community Christmas at the Music Park
Good turnout and very successful event by Shire Staff

Wednesday, 7 December 2022, 7pm

Attended Boyup Brook District High School Ball at the Town Hall Presented Rylington Park Scholarships

Friday, 9 December 2022, 10am

Attended Disabilities Inclusion Forum at the Town Hall.

9. COUNCILLOR QUESTIONS ON NOTICE

Nil

10. REPORTS OF OFFICERS

10.1 Manager Works and Services

Nil

10.2 FINANCE

10.2.1 List of Accounts Paid in November 2022

Location:	<i>Not applicable</i>
Applicant:	<i>Not applicable</i>
File:	<i>FM/1/002</i>
Disclosure of Officer Interest:	<i>None</i>
Date:	<i>05/12/2022</i>
Author:	<i>Ben Robinson, Finance Manager</i>
Authorising Officer:	<i>Dale Putland, Chief Executive Officer</i>
Attachments:	<i>Yes – List of Accounts Paid in November</i>

SUMMARY

In accordance with the *Local Government (Financial Management) Regulations 1996* the list of accounts paid in November 2022 are presented to Council.

BACKGROUND

This report presents accounts/invoices received for the supply of goods and services, salaries and wages, and the like which were paid during the period 01 to 30 November 2022.

COMMENT

The attached listing represents accounts/invoices the shire paid by cheque or electronic means during the period 01 to 30 November 2022.

CONSULTATION

Nil

STATUTORY OBLIGATIONS

Local Government (Financial Management) Regulations 1996, Regulations 12 and 13 apply and are as follows:

12. *Payments from municipal fund or trust fund*
 - (1) *A payment may only be made from the municipal fund or the trust fund —*
 - (a) *if the local government has delegated to the CEO the exercise of its power to make payments from those funds — by the CEO; or*
 - (b) *otherwise, if the payment is authorised in advance by a resolution of the council.*

(2) *The council must not authorise a payment from those funds until a list prepared under regulation 13(2) containing details of the accounts to be paid has been presented to the council.*

13. *Lists of accounts*

(1) *If the local government has delegated to the CEO the exercise of its power to make payments from the municipal fund or the trust fund, a list of accounts paid by the CEO is to be prepared each month showing for each account paid since the last such list was prepared —*

- (a) *the payee's name;*
- (b) *the amount of the payment;*
- (c) *the date of the payment; and*
- (d) *sufficient information to identify the transaction.*

(2) *A list of accounts for approval to be paid is to be prepared each month showing —*

- (a) *for each account which requires council authorisation in that month —*
 - (i) *the payee's name;*
 - (ii) *the amount of the payment; and*
 - (iii) *sufficient information to identify the transaction;*
- and*

(b) *the date of the meeting of the council to which the list is to be presented.*

(3) *A list prepared under sub regulation (1) or (2) is to be —*

- (a) *presented to the council at the next ordinary meeting of the council after the list is prepared; and*
- (b) *recorded in the minutes of that meeting.*

POLICY IMPLICATIONS

Council's *Authority to Make Payments Policy* has application.

BUDGET/FINANCIAL IMPLICATIONS

Account payments accorded with a detailed 2022-23 Annual Budget.

STRATEGIC IMPLICATIONS

Nil

VOTING REQUIREMENTS

Simple Majority

COUNCIL DECISION & OFFICER RECOMMENDATION – Item 10.2.1

MOVED: Cr Darren E King

SECONDED: Cr Sarah E G Alexander

That at its December 2022 ordinary meeting Council receive as presented the list of accounts paid in November 2022, totalling \$655,728.74 from Municipal account, \$52,351.15 from Police Licensing account and \$0.00 from Boyup Brook Early Learning Centre account, as represented by:

Municipal Cheques	20587-20588	\$ 124.00
Municipal Electronic Payments	EFT13216 – EFT13347	\$ 386,005.68
Municipal Direct Payments		\$ 269,599.06
Police Licensing Payments		\$ 52,351.15
BBELC Payments		\$ 0.00

CARRIED 8/0

Res 22/12/173

10.2.2 30 November 2022 Statement of Financial Activity

Location:	<i>Not applicable</i>
Applicant:	<i>Not applicable</i>
File:	<i>FM/10/003</i>
Disclosure of Officer Interest:	<i>None</i>
Date:	<i>02 December 2022</i>
Authors:	<i>Darren Long, Finance Consultant</i>
Authorising Officer:	<i>Dale Putland, Chief Executive Officer</i>
Attachments:	<i>Yes</i>

SUMMARY

The Monthly Financial Report for 30 November 2022 is presented for Council's consideration.

BACKGROUND

The *Local Government Act 1995* and the *Local Government (Financial Management) Regulations 1996* require local governments to prepare monthly reports containing the information that is prescribed.

The Regulations require local governments to prepare annual budget estimates and month by month budget estimates so that comparatives can be made to Year to Date (YTD) Actual amounts of expenditure, revenue and income, and materials variances can be commented on.

COMMENT

The Shire prepares the monthly financial statements in the statutory format along with other supplementary financial reports consisting of:

- (a) Statement of Comprehensive Income by Program;
- (b) Statement of Comprehensive Income by Nature/Type;
- (c) Statement of Financial Activity by Nature;
- (d) Statement of Financial Activity by Program;
- (e) Summary of Net Current Asset Position;
- (f) Material Variances Report;
- (g) Statement of Financial Position;
- (h) Statement of Cash Flows;
- (i) Report on Progress of Capital Expenditure Program;
- (j) Report on Major Business Units;
- (k) Statement of Cash Back Reserves;
- (l) Loan Borrowings Report; and
- (m) Detailed Operating and Non-Operating Schedules.

At its budget meeting, Council adopted a material variance threshold of \$10,000 or 10%. For interpretation purposes, this means any variance at Function/Program level that is greater than 10% and exceeds \$10,000 in value is reported on and commentary is provided to explain the YTD budget estimate to YTD actual variance. The material variance is shown on the Statement of Financial Activity, in accordance with the *Local Government (Financial Management) Regulations 1996*.

The material variance commentary is now provided in a separate statement, called the Material Variances Report. This statement categorises the variance commentary according to reporting Nature/Type and groups the variances by Operating Revenue, Operating Expenditure, Investing and Financing Activities.

The Statement of Financial Activity as at 30 November 2022 shows a closing surplus of \$4,517,512.

The Closing surplus figures brought forward from 30 June 2022 are interim only, and are subject to change due to any audit adjustments.

CONSULTATION – Nil

STATUTORY OBLIGATIONS

Local Government Act 1995

Section 6.4–Specifies that a local government is to prepare such other financial reports as are prescribed.

Local Government (Financial Management) Regulations 1996:

Regulation 34 states:

- (1) A local government is to prepare each month a statement of financial activity reporting on the sources and applications of funds, as set out in the annual budget under regulation 22(1)(d) for that month in the following detail:
 - (a) annual budget estimates, taking into account any expenditure incurred for an additional purpose under section 6.8(1)(b) or (c);
 - (b) budget estimates to the end of month to which the statement relates;
 - (c) actual amounts of expenditure, revenue and income to the end of the month to which the statement relates;
 - (d) material variances between the comparable amounts referred to in paragraphs (b) and (c);
 - (e) the net current assets at the end of the month to which the statement relates.

Sub regulations 2, 3, 4, 5, and 6 prescribe further details of information to be included in the monthly statement of financial activity.

POLICY IMPLICATIONS

Nil

BUDGET/FINANCIAL IMPLICATIONS

As presented in the attached reports.

STRATEGIC IMPLICATIONS

Nil

VOTING REQUIREMENTS

Simple Majority

COUNCIL DECISION & OFFICER RECOMMENDATION – Item 10.2.2

MOVED: Cr Helen C O’Connell

SECONDED: Cr Charles A D Caldwell

That Council receive the Monthly Financial Report for 30 November 2022, as presented.

CARRIED 8/0

Res 22/12/174

10.3 CHIEF EXECUTIVE OFFICER

Nil

Proximity Interest

Cr Philippe Kaltenrieder declared a proximity interest in item 10.4.1 and departed the Chambers at 6.43pm.

10.4 PLANNING

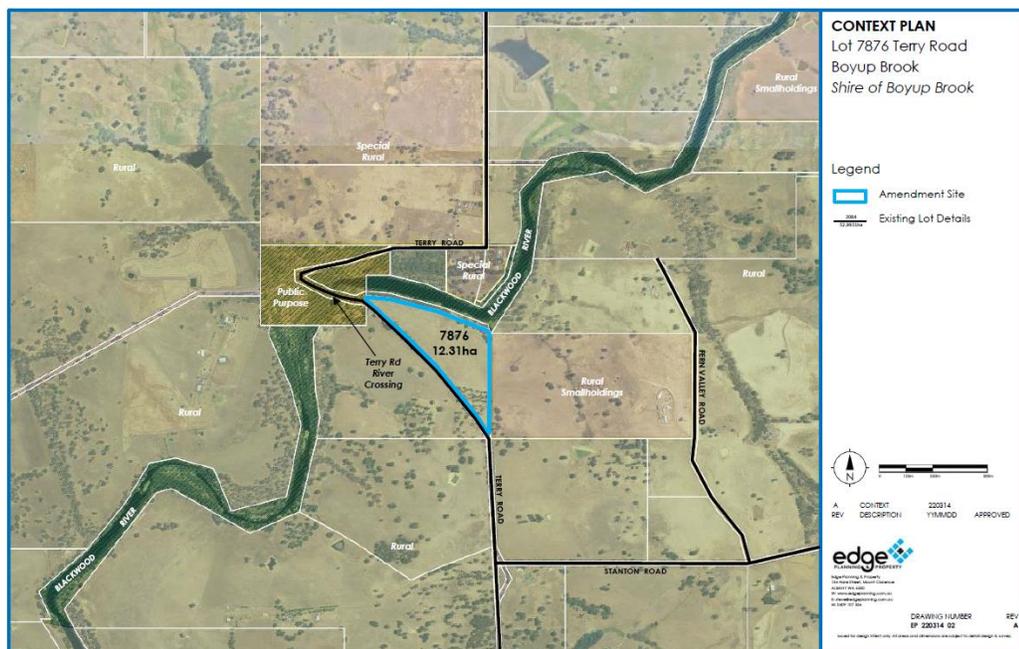
10.4.1 Scheme Amendment 23 – Lot 7876 Terry Road, Boyup Brook

Location:	Lot 7876 Terry Road
Applicant:	Edge Planning & Property
File:	A9370
Disclosure of Officer Interest:	None
Date:	8 December 2022
Author:	A. Nicoll, Town Planner
Authorising Officer:	Dale Putland, Chief Executive Officer
Attachments:	1. Scheme Amendment 23 – Advertised Document 2. Schedule of Submissions 3. Submissions 4. EPA Referral

SUMMARY

The purpose of this report is to put before Council the request to finally support the rezoning of Lot 7876 Terry Road from the ‘Rural’ zone to the ‘Rural Small Holdings’ zone.

The following map illustrates the Lot, subject to the scheme amendment proposal.



The site is located approximately 2 kilometres directly south of the Boyup Brook townsite, adjacent to the Blackwood River. The site is bounded by Terry Road to the south-west, the Blackwood River to the north and rural smallholding land to the east. The site has an area of 12.3417 hectares and is largely cleared with a small area of native vegetation in the south-east corner and along the northern boundary with the Blackwood River.

BACKGROUND

In accordance with the Shire's Local Planning Scheme No. 2, the site is currently zoned 'Rural' and is within the structure plan area number four (4), which recommends the use of the land for 'Rural Small Holdings'.

In August 2022, Council resolved to initiate the Scheme Amendment No.23, which seeks to make available the legitimate use of the land for rural small holdings (min 4ha lots).

Following Council resolution, the amendment was referred to the Environmental Protection Authority (EPA) where it was decided that the scheme amendment does not require assessment under Part IV Division 3 of the *Environmental Protection Act 1986* and that it is not necessary to provide any advice or recommendations.

Following the EPA decision, the scheme amendment was advertised and at the close of advertising, 7 submissions were received (not including EPA referral).

The submissions and a schedule summarising the submissions are attached to this report item for the Council to review. The schedule delivers information on:

- Authorities making a submission;
- A summary of comments made by each submission; and
- Recommendations.

The Council is recommended to consider the submissions and to agree that matters raised can be appropriately dealt with at the development stage of the process, in accordance with scheme provisions, which are in-place to ensure development is appropriate.

COMMENT

The purpose of the 'Rural Small Holdings' zone, is to accommodate rural living land parcels from 4 to 40 hectares in size.

The amendment proposes to facilitate future subdivision/development to create 3 lots which are a minimum lot size of 4 hectares, as indicated by the following figure:

- c) *the day that is 21 days after the receipt of a statement in respect of the amendment delivered under section 48G(3) of the EP Act if that statement is in response to a request by the local government made under section 48G(1) of the EP Act before the later of the days set out in paragraphs (a) and (b);*
- d) *a day approved by the Commission.*

Regulation 53 of the *Planning and Development Regulations 2015* states:

- (1) *After passing a resolution under regulation 50(3) the local government must provide the advertised amendment to the local planning scheme to the Commission together with the following —*
 - a) *a schedule of submissions made on the amendment;*
 - b) *the response of the local government in respect of the submissions;*
 - c) *particulars of each modification to the amendment proposed by the local government in response to the submission;*
 - d) *a copy of the resolution passed under regulation 50(3).*

Section 35A of the *Planning and Development (Local Planning Schemes) Regulations 2015* makes the following requirement:

35A. Amendment to local planning scheme affecting area to which structure plan relates

If an amendment to a local planning scheme affects the area to which a structure plan approved under the scheme relates, the amendment must include a statement that, when the amendment takes effect —

- (a) *the approval of the structure plan is to be revoked; or*
- (b) *the structure plan is to be amended in accordance with the statement; or*
- (c) *the approval of the structure plan is not affected.*

POLICY IMPLICATIONS

There are no policy implications directly relating to this item. A bushfire hazard level assessment was undertaken as part of a District Structure Plan endorsed for the area. The bushfire hazard level is mostly 'low' for nearly all of the site (see figure below). The lot and surrounding locality is predominantly cleared and has two-way public road access to two different destinations via Terry Road to the north and via Stanton Road to the south east.

CONSULTATION

The Amendment 23 was referred to the Environmental Protection Authority, advertised and reviewed in accordance with the *Planning and Development Regulations 2015*.

BUDGET/FINANCIAL IMPLICATIONS

There are no financial implications outside of the Shire's budget, relating to the proposal to amend the *Local Planning Scheme No.2*.

STRATEGIC IMPLICATIONS

There are no strategic implications directly relating to this item.

SUSTAINABILITY IMPLICATIONS

➤ **Environmental**

The proposal to amend the zoning has been assessed by the Environmental Protection Authority (EPA). The EPA decided that the scheme amendment does not require assessment under Part IV Division 3 of the Environmental Protection Act 1986 and that it is not necessary to provide any advice or recommendations.

➤ **Economic and social**

The vision is the creation of rural living lots on the fringe of the Boyup Brook townsite.

VOTING REQUIREMENTS

Simple majority.

SUMMARY CONCLUSION

It is recommended that the Council agree to adopt the Local Planning Scheme Amendment No. 23 for the following reasons:

- 1) The proposal is consistent with the current strategic direction set by the Shire's Local Planning Scheme No.2 (structure plan area recommending rural small holdings);
- 2) The site is physically suited to accommodating rural living and is located alongside land already zoned for 'Rural Small Holdings'.

COUNCIL DECISION & OFFICER RECOMMENDATION – ITEM 10.4.1

MOVED: Cr Sarah E G Alexander

SECONDED: Cr Darren E King

THAT Council RESOLVE to:

1. **Adopt Amendment No. 23 to amend Shire of Boyup Brook *Local Planning Scheme No. 2* by:**
 - a) **Rezoning Lot 7876 Terry Road, Boyup Brook from the 'Rural' zone to the 'Rural Small Holdings' zone.**
 - b) **Inserting 'and Lot 7876 Terry Road' into Schedule 3 - Rural Small Holdings Zones after 'Road' for Rural Small Holdings Zone 2 (RSH2).**
 - c) **Amending the Scheme Map accordingly.**
2. **Determines Amendment No. 23 is a standard amendment under the provisions of the *Planning and Development (Local Planning Schemes) Regulations 2015* for the following reasons:**
 - a) **The amendment does not result in any significant environmental, social, economic or governance impacts on land in the scheme area.**
 - b) **The amendment is not a basic or complex amendment.**
3. **Determines that, when the amendment takes effect, the approval of the structure plan, pertaining to the subject area, is not affected.**

CARRIED 7/0

Res 22/12/175

Cr Philippe Kaltenrieder returned to the Chambers at 6.44pm.

11 COMMITTEE MINUTES

11.1 Annual Awards Committee Minutes

COUNCIL DECISION & OFFICER RECOMMENDATION – ITEM 11.1

MOVED: Cr Helen C O’Connell

SECONDED: Cr Darren E King

That the unconfirmed minutes of the Annual Awards Committee held on Thursday, 17 November 2022 be received.

CARRIED 8/0

Res 22/12/176

12 MOTION OF WHICH PREVIOUS NOTICE HAS BEEN GIVEN

Nil

13 URGENT BUSINESS MATTERS

13.1 Funding Reallocation

<i>Location:</i>	<i>Not applicable</i>
<i>Applicant:</i>	<i>Not applicable</i>
<i>Disclosure of Officer Interest:</i>	<i>None</i>
<i>Date:</i>	<i>7 December 2022</i>
<i>Author:</i>	<i>Lauren Carlin, Project Officer</i>
<i>Authorizing Officer:</i>	<i>Dale Putland, Chief Executive Officer</i>
<i>Attachments:</i>	<i>No</i>

SUMMARY

Proposed reallocation of LRCI Phase 3 funding money within LRCI projects to facilitate delivery of approved projects.

BACKGROUND

The Phase 3 LRCI grant round commenced in July 2022, with the Shire receiving funding for renovation works to the Town and Lesser Hall, Sandakan Park playground, new accessible doors at the swimming pool and renovation works to community halls throughout the Shire.

The Shire has now firmed up cost estimates for the planned LRCI Phase 3 projects and it is now apparent that the Sandakan Park playground cannot be delivered within the current budget allocation.

Detailed costings for several other projects have identified shortfalls in the allocated project budgets and where additional funds can be used to achieve beneficial outcomes. Indications from Regional Development Australia are that Phase 4 of the LRCI funding will continue for the 2023/24 financial year.

It is proposed that the Sandakan Playground project is deferred to the Phase 4 LRCI funding round and that the funds allocated to this project is reallocated within the already approved LRCI projects.

COMMENT

The allocated budget for the Sandakan Park playground is currently \$100,000. Firms who were requested to quote on the project have advised that there will be significant cost savings if replacement of the play equipment and Softfall are together. Cost estimates for this indicate that the total cost will be approximately \$300,000. It is therefore proposed that the Sandakan Park playground is deferred to the Phase 4 LRCI project round.

It is anticipated that in addition to the Sandakan Park playground, installation of a toilet at the cemetery will be funded from the Phase 4 LRCI funding round. The Shire's Works Department are planning to install some kerbing at the cemetery to assist to control erosion in the short term and plan to progress works to improve the maintenance and appearance of the cemetery from the current maintenance budget over time.

The funds can then be allocated to other LRCI Phase 3 projects to assist in their delivery.

For example, the Phase 3 Town & Lesser Hall works are currently out for tender but initial feedback is that the work required will exceed the allocated \$665,000, the Tone Bridge Hall works have exceeded the budget due to increased costs for the asbestos removal, and the McAlinden Hall requires power and water.

Additionally, there have been savings of \$10,000 from the Swimming Pool project that can be reallocated into the other LRCI projects.

Council is therefore requested to reallocate \$100,000 from the Sandakan Park playground and \$10,000 from the Swimming Pool automatic doors to the following LRCI Phase 3 projects:

- \$18,000 reallocated to the Tonebridge Hall renovations.
- \$20,000 allocated to McAlinden Hall for works including reconnection of power, installation of a water tank and gutters to building. Note, this hall was not included in the original small hall allocation.
- The remainder of the funds to be reallocated into the Town Hall Precinct Project.

CONSULTATION

N/A

STATUTORY OBLIGATIONS

If Council approves the funding reallocation, the Shire will lodge an application with the funding body to approve an amendment to the Shire’s funding agreement to reflect the above changes. As the projects have already been approved, Shire officers do not foresee any difficulties gaining this approval.

POLICY IMPLICATIONS

N/A

BUDGET/FINANCIAL IMPLICATIONS

The proposed reallocation of LRCI funds is within the existing LRCI budget.

STRATEGIC IMPLICATIONS

N/A

SUSTAINABILITY IMPLICATIONS

- **Environmental**
Nil
- **Economic**
Nil
- **Social**
Nil

VOTING REQUIREMENTS

Simple majority

OFFICER RECOMMENDATION – ITEM 13.1

MOVED: Cr Kevin J Moir

SECONDED: Cr Helen C O’Connell

Council approve reallocation of \$100,000 from the Sandakan Park playground and \$10,000 from the Swimming Pool automatic doors to the following LRCI Phase 3 projects:

- **\$18,000 reallocated to the Tonebridge Hall renovations.**
- **\$20,000 allocated to McAlinden Hall for works including reconnection of power, installation of a water tank and gutters to building. Note, this hall was not included in the original small hall allocation.**
- **The remainder of the funds to be reallocated into the Town Hall Precinct Project.**

AMENDMENT

MOVED: Cr Darren E King

SECONDED: Cr Charles A D Caldwell

To separate the recommendation into 2 motions.

Motion 1. All of the above excluding the word in the first sentence “and” after playground up to and including the word “doors”.

Motion 2. Council approve reallocation of \$10,000 from the swimming pool automatic doors to be reallocated to the Town Hall Precinct Project.

Lost 5/3

Res 22/12/177

MOVED INTO COMMITTEE

MOVED: Cr Darren E King

SECONDED: Cr Charles A D Caldwell

That the Council move into a committee of the whole under clause 15.6 of the Standing Orders, Local Law No. 1 to allow members free discussion on the matter.

CARRIED 8/0

Res 22/12/178

MOVED OUT OF COMMITTEE

MOVED: Cr Helen C O’Connell

SECONDED: Cr Darren E King

That the Council moves out of committee of the whole under clause 15.6 of the Standing Orders, Local Law No. 1.

CARRIED 8/0

Res 22/12/179

MOTION

Council approve reallocation of \$100,000 from the Sandakan Park playground and \$10,000 from the Swimming Pool automatic doors to the following LRCI Phase 3 projects:

- **\$18,000 reallocated to the Tonebridge Hall renovations.**
- **\$20,000 allocated to McAlinden Hall for works including reconnection of power, installation of a water tank and gutters to building. Note, this hall was not included in the original small hall allocation.**
- **The remainder of the funds to be reallocated into the Town Hall Precinct Project.**

CARRIED 6/2

Res 22/12/180

14 CONFIDENTIAL MATTERS

14.1 Establishment of CEO Selection Panel

COUNCIL DECISION & OFFICER RECOMMENDATION – ITEM 14.1

MOVED: Cr Helen C O’Connell

SECONDED: Cr Charles A D Caldwell

That Council establish a CEO Selection Panel as a Committee of Council and appoint Cr Richard F Walker, Cr Steele Alexander, Cr Darren E King, Cr Charles A D Caldwell, Cr Sarah E G Alexander and Cr Helen C O’Connell as Council members and appoint Mr Michael Wright and Mrs Kathryn Westphal as independent members of the Panel.

CARRIED 8/0

Res 22/12/181

15 CLOSURE OF MEETING

There being no further business the Shire President, Cr Walker thanked all for attending and declared the meeting closed at 7.09pm.



MINUTES

SPECIAL COUNCIL MEETING

Held on

Monday 19 December 2022

Commenced at 5.21pm

Shire of Boyup Brook Council Chambers, Boyup Brook

Dale Putland
Chief Executive Officer

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1. DECLARATION OF OPENING/ANNOUNCEMENT OF VISITORS

We acknowledge and pay our respects to the traditional custodians of the land on which we meet and work.

2. RECORD OF ATTENDANCE

PRESENT:	Shire President	Richard F Walker
	Deputy Shire President	Helen C O'Connell
	Councillor	Sarah E G Alexander (via MS Teams)
		Steele Alexander (via MS Teams)
		Charles A D Caldwell (via Telephone)
		Philippe Kaltenrieder
		Darren E King
	Chief Executive Officer	Dale Putland
	Executive Assistant	Maria Lane
	Acting Executive Assistant	Maggie Le Grange

APOLOGIES:	Adrian Price
	Kevin J Moir
LEAVE OF ABSENCE:	Nil
MEMBERS OF PUBLIC:	Nil

3. DISCLOSURE OF INTEREST

Nil

4. REPORT

4.1 Appointment of Recruitment Consultant for CEO Appointment

Location:	Not applicable
Applicant:	Not applicable
Disclosure of Officer Interest:	None
Date:	16/12/2022
Author:	Maria Lane, Executive Assistant
Authorising Officer:	Dale Putland, Chief Executive Officer
Attachments:	Quotes Under Confidential Attachment

SUMMARY

The purpose of this report is for Council to select a suitably qualified recruitment consultant to facilitate the recruitment process of appointing a new Chief Executive Officer (CEO).

It is important that the Council commence the CEO recruitment process as soon as possible to allow for a smooth transition and timely appointment.

BACKGROUND

Current CEO, Mr Dale Putland, commenced with the Shire of Boyup Brook on 29 September 2020 and has elected to finish up on 24 February 2023. As such, the Council will need to begin the process of recruiting a new CEO.

COMMENT

The process of appointing a new CEO is governed by the Local Government Act 1995, specifically Part 5, Division 4 – Local Government Employees, Section 5.36, 5.39 and 5.40.

Due to the importance of the role and the need to ensure that the Shire is compliant in all facets of the process, it is recommended that Council utilize an external consultant with local government recruitment experience to assist the Council in this process.

Quotes Under Confidential Cover

- Gerard Daniels
- Beilby Downing Teal
- Mills Recruitment
- Leading Roles
- LO-GO Appointments

CONSULTATION

Councillors were provided with a copy of each quote in electronic form for review and evaluation.

STATUTORY OBLIGATIONS

Local Government Act 1995

Section 5.36 contains provisions for the employment of CEOs.

Section 5.39 contains provisions for the contracts of CEOs.

Section 5.40 requires that all employees are to be selected in accordance with the principles of merit and equity.

Local Government (Administration) Regulations 1996

18A contains provisions for advertising requirements.

18B contains provisions for the contracts of CEOs.

18C contains provisions for the selection and appointment process for CEOs.

18E contains provisions for the qualifications of CEOs.

18F contains provisions for the remuneration and benefits as advertised.

POLICY IMPLICATIONS

Council Policy F.03 - Purchasing Policy

BUDGET/FINANCIAL IMPLICATIONS

Provision has not been made in the 2022/23 Adopted Budget for CEO recruitment costs and disbursements. The total costs of the CEO recruitment process including consultant's fees, advertising costs, disbursements and contract negotiation are expected to be between \$15,000 to \$20,000.

It is proposed to source these funds from GL 146106 Consultants. Any adjustments as a result of savings or re-prioritisation of other projects budget as part of this GL can be undertaken during the midyear 2022/23 Budget review process.

STRATEGIC IMPLICATIONS

Strategic Community Plan 2021-2031 – Governance and Organisation Focus Area 4: Increase Stability and capability in Shire staff



VOTING REQUIREMENTS

Absolute Majority

BEHIND CLOSED DOORS

MOVED: Cr Helen C O'Connell

SECONDED: Cr Darren E King

That pursuant to Section 5.23 (2) (b) of the *Local Government Act 1995*, Council move Behind Closed Doors at 5.30pm.

CARRIED 7/0

Res 22/12/182

COUNCIL DECISION & OFFICER RECOMMENDATION – Item 4.1

MOVED: Cr Philippe Kaltenrieder

SECONDED: Cr Helen C O'Connell

That Council:

- 1. Authorise the Chief Executive Officer (CEO) to appoint Beilby Downing Teal to facilitate the process for the recruitment and selection of a new Chief Executive Officer (CEO) per proposal dated December 2022 for the cost of \$14,500 (excl. GST) plus disbursements using funds from GL 146106 Consultants.**
- 2. Include the consideration of CEO recruitment costs during the midyear 2022/23 budget review process.**

CARRIED BY ABSOLUTE MAJORITY 7/0

Res 22/12/183

MOVED OUT FROM BEHIND CLOSED DOORS

MOVED: Cr Philippe Kaltenrieder

SECONDED: Cr Darren E King

That in accordance with Section 5.23 (2) (b) of the *Local Government Act 1995*, Council came out from Behind Closed Doors at 5.46pm.

CARRIED 7/0

Res 22/12/184

5. CLOSURE OF MEETING

There being no further business the Shire President, thanked all for attending and declared the meeting closed at 5.52pm.



MINUTES

SPECIAL COUNCIL MEETING

Held on

Wednesday 4 January 2023

Commenced at 10.00am

Shire of Boyup Brook Council Chambers, Boyup Brook

Dale Putland
Chief Executive Officer

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1. DECLARATION OF OPENING/ANNOUNCEMENT OF VISITORS

We acknowledge and pay our respects to the traditional custodians of the land on which we meet and work.

2. RECORD OF ATTENDANCE

COUNCILLORS:	Shire President	Richard F Walker
	Deputy Shire President	Helen C O’Connell
	Councillor	Sarah E G Alexander (MS Teams)
		Steele Alexander (MS Teams)
		Philippe Kaltenrieder
		Darren E King
		Kevin J Moir
		Adrian Price

STAFF:	Deputy CEO	Carolyn Mallett
	Acting Executive Assistant	Maggie Le Grange

APOLOGIES:

LEAVE OF ABSENCE:

Charles A D Caldwell

MEMBERS OF PUBLIC:

3. DISCLOSURE OF INTEREST

Nil

4. REPORT

4.1 Terms of Reference for Selection Committee & CEO Position Description

Location:	<i>Not applicable</i>
Applicant:	<i>Not applicable</i>
Disclosure of Officer Interest:	<i>None</i>
Date:	<i>3 January 2023</i>
Author:	<i>Maggie Le Grange – Acting EA</i>
Authorising Officer:	<i>Carolyn Mallett – Deputy CEO</i>
Attachments:	<i>1. Terms of Reference 1. CEO Position Description</i>

SUMMARY

This Report is for Council to consider and endorse the Terms of Reference for the Chief Executive Officer (CEO) Selection Committee which has been established to lead Council in recruiting a new CEO following the resignation of the CEO (as per attachment 1 as was tabled at its Ordinary Council Meeting held 15 December 2022), and to consider and endorse the CEO Position Description (incorporating Selection Criteria) per attachment 2.

BACKGROUND

At the Ordinary Council Meeting held 15 December 2022, Council resolved to establish a CEO Selection Committee and appointed Councillors and independent members to the Committee, to commence the recruitment process for a new CEO.

The CEO Selection Committee acts in accordance with its Terms of Reference which sets out the membership, responsibilities, authority and operations of the Committee.

Councillors and Emily Bulloch from Beilby Downing Teal (the recruitment organisation) workshopped the CEO Position Description on 22 and 23 December 2022.

COMMENT

One of the fundamental roles of the Council is the employment of the local government's CEO. The CEO is responsible for implementing the council's strategic vision and leading the local government administration. A local government must select a CEO in accordance with the principles of merit, equity and transparency.

Under the *Local Government (Administration) Amendment Regulations, 2021*, the Guidelines for the Local Government CEO Recruitment and Selection were amended February 2021. Local Government Councils are now required to develop Terms of Reference relating to the management and implementation of the future CEO recruitment process and Council are required to endorse the CEO Position Description including selection criteria.

Local Government (Administration) Amendment Regulations 2021 – Schedule 2, Clause 5 (2): Determination of selection criteria and approval of job description form by Council;
(a) the duties and responsibilities of the position; and
(b) the selection criteria for the position determined in accordance with subclause (1).

The Committee may close the meeting or part of the meeting to members of the public if the meeting deals with any of the matters listed in section 5.23(2)— (a) a matter affecting an employee or employees; and (b) the personal affairs of any person; and various other matters.

It is recommended that Council adopt the Terms of Reference for the CEO Selection Committee as per attachment 1 as was tabled at its Ordinary Council Meeting held 15 December 2022 and endorse the CEO Position Description (incorporating Selection Criteria) as per attachment 2.

CONSULTATION

Councillors were provided with a copy of the Terms of Reference and the Position Description in electronic and hard copy form for review and evaluation.

STATUTORY OBLIGATIONS

Local Government Act 1995

Local Government (Administration) Regulations 1996

Local Government (Administration) Amendment Regulations 2021 – Schedule 2, Clause 5 (Refer excerpt below);

5. **Determination of selection criteria and approval of job description form**
 - (1) The local government must determine the selection criteria for the position of CEO, based on the local government's consideration of the knowledge, experience, qualifications and skills necessary to effectively perform the duties and responsibilities of the position of CEO of the local government.
 - (2) The local government must, by resolution of an absolute majority of the council, approve a job description form for the position of CEO which sets out —
 - (a) the duties and responsibilities of the position; and
 - (b) the selection criteria for the position determined in accordance with subclause (1).

POLICY IMPLICATIONS

Nil

BUDGET/FINANCIAL IMPLICATIONS

Nil

STRATEGIC IMPLICATIONS

Nil

VOTING REQUIREMENTS

Absolute Majority

COUNCIL DECISION & OFFICER RECOMMENDATION – Item 4.1

MOVED: Cr Helen C O’Connell

SECONDED: Cr Darren E King

That Council:

- 1. Adopt the Terms of Reference for the CEO Selection Committee (Attachment 1) for its CEO Selection Committee tabled at its Ordinary Council Meeting held 15 December 2022.**
- 2. Endorse the “*CEO Position Description*” (Attachment 2) as amended.**

CARRIED 8/0

Res 23/01/001

5. CLOSURE OF MEETING

There being no further business the Shire President, thanked all for attending and declared the meeting closed at 10.09am.



APPLICATION FOR DEVELOPMENT APPROVAL

PLEASE NOTE THAT PAYMENT MUST BE MADE BEFORE PROCESSING THIS APPLICATION

Owner Details					
Name	MITSUI BUSSAN LOODCHIP OCEANIA, TRADING AS BUNBURY FIBRE EXPORTS				
ABN (if applicable)	070 210 990				
Address	BERTH 8 Inner HARBOUR BUNBURY			Postcode	6230
Phone	(08) 9781 4500	Mobile	0417 509 725	Work	
Contact person for correspondence	LACHLAN COOK				
Signature	[Handwritten Signature]			Date	22/11/2022
Signature				Date	
<p><i>The signature of the owner(s) is required on all applications. For the purposes of signing this application an owner includes the persons referred to in the Planning and Development (Local Planning Scheme) Regulations 2015 Schedule 2 clause 62(2)</i></p>					
Applicant Details (if different from the owner)					
Name					
ABN (if applicable)					
Address				Postcode	
Phone		Mobile		Work	
Contact person for correspondence					
The information and plans provided with this application may be made available by the local government for public viewing in connection with the application.					Yes <input type="checkbox"/> No <input type="checkbox"/>
Signature				Date	
Property Details					
Lot No.	7	House No.		Location No.	
Diagram/Plan No.	73667	Title Vol. No.	1802	Folio No.	557
Title encumbrances (eg easements, restrictive covenants)					
C261087 D338989 G830514 C261088 G778879					
Street Name	BOWELLING-MCALINDEN RD			Suburb	MCALINDEN
Nearest Street Intersection	BOWELLING-MCALINDEN RD / BOYUP BROOK RD NORTH				



Proposed Development					
Nature of development	Works <input type="checkbox"/>	Use <input checked="" type="checkbox"/>	Works & Use <input type="checkbox"/>	Signage <input type="checkbox"/>	
Is an exemption from development claimed for part of the development?				Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
If yes, is the exemption for	Works <input type="checkbox"/>	Use <input type="checkbox"/>			
Description of proposed works and/or land use RE PLANT EXISTING PLANTATION AREA WITH RADIATA PINE					
Description of exemption is claimed					
Nature of any existing buildings and or land use					
NO BUILDINGS. EXISTING LAND USE IS PLANTATION - NO CHANGE					
Approximate cost of proposed development					
\$80,000 PLANTATION ESTABLISHMENT COST.					
Estimated time of completion					
01/09/2023					
Office Use Only					
TPS No.		Zone		Other	
Use Type					
Description					
Assessment No.		Building Licence No			
Acceptance Officer's initials				Date received	
Local Government reference No.					
Cashier					
Application No.		Reception Received Stamp			
Receipt No.					
Amount					
Signature					
Date					



MITSUI BUSSAN WOODCHIP OCEANIA PTY LTD

ABN 14 070 210 990

Level 15
120 Collins Street
Melbourne VIC 3000

Tel: (03) 9605 8800

Fax: (03) 9605 8888

Shire of Boyup Brook
Abel St
Boyup Brook, WA
6244

To whom it may concern,

Re Application for development approval

Please find below additional information to support a planning application for Jackson plantation at Diagram 73669, Volume 1802, Folio 557 on the Boweling McAlinden Rd.

Consistent with the planning application submitted for Armstrong plantation, please note:

- The applicant commits to operating in compliance with the Code of Practice for Timber Plantations in Western Australia, the council's firebreak order and FESA's Guidelines for Plantation Fire Protection;
- The applicant remains a member of the Plantation Managers Fire Cooperative Agreement (PMFA);
- Jackson plantation is in close proximity to FPCs McAlinden appliance, which the applicant has access to via the PMFA;
- A water tank and multiple dams exists within the plantation (refer to the plantation map);
- The applicant sees no evidence that replanting this site will negatively impact the amenity of the area;
- There are no existing building on the site;
- Management of harvest impacts on roads will be handled in compliance with the shire's requirements, consistent with how such matters are handled by BFE currently.

Best regards,

Lachlan Cook
Manager, Plantation and Woodchip Projects



PLANTATION MANAGEMENT PLAN

MWO Jackson PROPERTY

P 2023

Prepared by

BUNBURY FIBRE EXPORTS

Last updated 17 October 2022

Bunbury Fibre Exports Plantation Management Plan

Introduction

Mitsui Bussan Woodchips Oceania Pty Ltd (MWO) owns a property in the district of McAlinden north of the town of Boyup Brook that has previously grown eucalypts (*E globulus* and *E smithii*) established under a joint venture with Nippon Paper Resources. These eucalypts have since been harvested and MWO is planning to re-establish 717.7 hectares with pine softwood (*P radiata*) and 16.1 hectares with native species. Approximately 90 hectares of the plantation is located within the Boyup Brook Shire, with the remainder located within the West Arthur Shire (refer to the plantation map).

Establishment and maintenance of the pine plantation will be conducted by Bunbury Fibre Exports as MWO's appointed property management company.

Situated in the mainly the West Arthur Shire with a small area in the Boyup Brook Shire, the property is located approximately 30km north of Boyup Brook.

This document outlines the following in relation to this plantation –

1. Property summary
2. Land information
3. Plantation Establishment Plan
4. Plantation Tending Plan
5. Fire Management Plan
6. Timber Harvesting Plan
7. Carbon Capture Plan

All relevant maps and plans are attached.

- Contract Map
- Shire Approval Map

References:

- *Code of Practice for Timber Plantations in Western Australia*
- *Guidelines for Plantation Fire Protection (1998)*
- *Local Shire Council Firebreak Orders*
- *Plantation Managers Fire Agreement 2020/2021*

1 PROPERTY SUMMARY

Plantation Name:	Jackson
Landowner:	Mitsui Bussan Woodchip Oceania Pty Ltd
Planting Year:	2023
Area:	Approx 717.7 ha (<i>P radiata</i>)
Location Number:	Wellington Locations Title: Lot 7 D073667, Lot 2506 P133551, Lot 2567 P140501, Lot 128 P3019037, 2506, and 2567
Catchment:	Collie River
Avg Annual Rainfall:	688 mm (McAlinden Weather Station Ref. No: 9666)
Landscape Position:	Lower to upper slopes
Topography:	Flat to moderate
Aspect:	Mostly northerly with some easterly

2 LAND INFORMATION

2.1 Area

The general area is zoned for the purpose of agriculture/plantations. The area is remaining under plantation with the current short rotation eucalypt plantation being converted to a long rotation pine sawlog plantation.

2.2 Locality plan and access roads

A location plan is attached. Access to the property is from the Bowelling – McAlinden Road

2.3 Natural features

2.3.1 Principle soil types: The soils are predominantly a clayey loam ranging to gravelly loams.

2.3 Improvements

2.4.1 Buildings

There are no buildings within the plantation establishment area.

2.4.2 Roads, bridges, creek crossings

Internal access roads have been upgraded as part of the harvesting and establishment operation; these roads will be retained when the site is re-established allowing adequate access throughout the plantation for fire control purposes.

2.4.3 Fences, gates and dams

There are no internal fences on the property because of its previous land use. The condition of the external fences is variable with some being not fit for purpose. There are dams on the property which hold water throughout the year. There are access gates to the property from Bowelling – McAlinden Road.

2.4.4 Powerlines, Telstra cables etc.

There are several powerlines on the property however there is signs of a Telstra cable running along the fence line adjoining the Bowelling – McAlinden Road.

3 PLANTATION ESTABLISHMENT PLAN – (Summary)

1. Areas of native vegetation, including paddock trees to be cleared

There is no additional native vegetation that requires removal as part of the re-establishment. The slash piles from the eucalypt harvest operation will be burnt to remove harvested debris prior to ripping or mounding.

2. Management of logging residue (pine sawlog rotation)

This may involve the heaping and burning of debris (leaves, branch material and timber deemed non-merchantable) by BFE.

3. Control of vermin and declared weeds

BFE will take all reasonable steps to control rabbits and other pests.

They will also be responsible for the control of declared plants within the property.

BFE will participate in any community/neighbours based joint fox control.

The site has been checked for the presence of declared weeds.

3.4 Areas to be planted, compartment sizes

The plan attached shows the plantation area; the area has been divided into compartments according to the Guidelines for Plantation Protection.

3.5 Species to be planted and source of seedlings

The site is to be planted with *Pinus radiata* sourced from Tree Breeding Australia seed orchards and raised in a local nursery.

3.6 Direction of planting lines in relation to contours and natural drainage

The direction of the planting lines will be dictated by the existing planting direction, due to the stumps left after harvesting.

3.7 Description of soil preparation methods

The site will be ripped or mounded where necessary using a 4x4-tractor / plough configuration at 4 metre rowing spacing (1111spha) utilizing existing stump lines. Weed control will follow the ripping/mounding operations prior to planting.

3.8 Description of weed control methods, including herbicide application rates and buffer zones

The Blue gum coppice from existing stumps will be the main issue so far as vegetation growth competing with pine seedling establishment. The post harvest coppice will be sprayed to eliminate this competition.

Pre-planting Coppice

Broadspray using 3 litres per hectare of Glyphosate mixed with 60 grams of Metsulfuron-methyl and 1000ml of Pulse per hectare with a wetting agent in 400 litres per hectare of water.

Strip spraying

To control the occurrence of annual grasses across the site, the pre-plant strip spray prescription for mounds is 1 litre per hectare of Glyphosate with 5 litres per hectare of Simazine in 100 litres of water per hectare.

Appropriate buffer zones, in line with label requirements and "Code of Practice for Timber Plantations in Western Australia" guidelines will be observed in order to prevent contamination of waterways. All operations will be carried out in accordance with the weed control guidelines stated in the "Code of Practice for Timber Plantations in Western Australia" by licensed contractors.

3.9 Planting technique

Trees will be planted using a hand-held tree planter. Planting contractors will carry plants from a central plant dump from within the property to sections within the proposed planting area by 4x4 utilities and 4x4 ATV motorbikes.

The proposed plantation is to be planted at 1111 stems per hectare in a 4m x 2.25m configuration.

3.10 Access roads and firebreaks

Access roads and firebreaks are shown on the plans attached. External firebreaks are 15 metres wide with 6 metre wide access roads / firebreaks internally. Firebreak maintenance to Local Authority guidelines is the responsibility of BFE on behalf of the landowner.

4 PLANTATION TENDING PLAN

4.1 Grazing strategy

The planting area is suitable for grazing by livestock however the condition of the external fences is variable with most being not fit for purpose.

4.2 Pruning and thinning schedule

Only tree branches that intrude onto designated firebreaks will be mechanically pruned to meet Local Authority guidelines. Trees will be thinned twice before the final harvest but no other pruning is scheduled.

4.3 Fertilising schedule

There will be an initial fertilizer application, banded form pre mounding to prevent nitrification of waterways, to raise soil conditions to an appropriate nutrient level for tree establishment. Type and rates of fertilizer used will be determined following nutrient analysis of soil samples.

Fertiliser applications to sustain tree vigour and health will be applied at ages 0, 2 and 15 years. The fertiliser will be applied by ground or air. Rates and types of fertilisers will be dependent on results from soil and folia sample analysis.

4.4 Weed management

As part of the ongoing maintenance to the tree crop area a second weed control application will occur during the next winter of the year following planting. (ie winter of year 2023). Weed types will determine the weed control prescription.

4.5 Monitoring and contingencies for diseases and pests

Early Growth Monitoring will occur weekly from the end of planting through to the end of February in the following year. It is not envisaged that any diseases will be found that will affect the plantation or surrounding native vegetation. Upon detection of any pest found to be causing damage to the plantation, an appropriate bait and/or spray will be applied where required.

4.6 Road and break maintenance

Access roads and firebreaks are shown on the plans attached. External firebreaks are 15 metres wide with 6 metre wide access roads / firebreaks internally. Firebreak maintenance to Local Authority guidelines is the responsibility of BFE on behalf of the landowner. BFE will monitor firebreak maintenance to ensure compliance.

5 FIRE MANAGEMENT PLAN

5.1 Landowner property details

NAME	Mitsui Bussan Woodchip Oceania Pty Ltd
ADDRESS	Level 15, 120 Collins Street, Melbourne VIC 3000
PHONE NUMBER	08 9781 4500
LOCATION NUMBER(S)	Lot 7 DO73667, Lot 2506 P133551, Lot 2567 P140501, Lot 128 P301903
SPECIES OF TREES PLANTED	<i>P radiata</i>
TOTAL AREA PLANTED	733.8 hectares
PREVIOUS LAND USE AND CONDITION (ie pasture, ex bush)	Eucalypt plantations

5.2 Property details of neighbouring locations

NAME	Phone Number	LOCATION NUMBER(S)
Forest Products Commission	(08) 9725 5288	Lot 2669 on DP136365 (1039/396) Lot 129 on DP 301903 (1202/835) Lot 6 on D48507 (1608/463)
Land Reserve	(08) 9442 0300	Lot 5749 on DP219077 (LR3053/289)
Peter & Natalie Jackson	TBA	Lot 3742 on DP 140814 (11/251A) Lot 25 on D89000 (2066/812)
Garry & Linda Back	TBA	Lot 24 on D89000 (2066/811)
Deirdre & Stephen Parker	TBA	Lot 3746 on DP 140922 (2120/386)
Graham Moore, Philip Moore & Judith Growden	TBA	Lot 9792 on DP140689

5.3 Local fire agencies

AGENCY	ADDRESS	PHONE NUMBER	CONTACT PERSON
DBCA Blackwood District	Kirup	9731 6232	Duty Officer
BFE Pty Ltd	Berth 8 Leschenault Drive Bunbury WA 6230	9781 4500	Manager
Boyup Brook Shire Office	Abel Street Boyup Brook WA 6244	97 651 200	Reception
Chief Bush Fire Control Officer Boyup Brook	Abel Street Boyup Brook WA 6244	0497 671 340	Tristan Mead
Deputy Chief Bush Fire Control Officer Boyup Brook	Abel Street Boyup Brook WA 6244	9767 1280 0429 900 058	Ron Bingham
West Arthur Shire Office	31 Burrows Street, Darkan WA 6392	08 97 36 2222 0427 900 563	Nicole Wasmann
Chief Bush Fire Control Officer West Arthur	WEST ARTHUR 1 (MOBILE) WEST ARTHUR 1 BASE	97361147 0427361147	Duncan South
Deputy Chief Bush Fire Control Officer West Arthur	West Arthur 3	98626113 0438626033	Ben Robinson
DBCA Wellington District	Collie	9735 1988	Duty Officer

5.4 Risk of ignition

Potential ignition sources are mainly restricted to lightning strikes, adjoining roads and escapes from burning operations on surrounding land plus machinery caused fires from both plantation and cereal harvesting operations.

5.5 Detection of fires

The landowner, neighbours and passers by, and the existing brigade system will undertake fire detection.

In addition, Department of Biodiversity, Conservation and Attractions (DBCA) spotter aircraft regularly fly within smoke spotting distance of the area and will report all smokes sighted. In the event of a fire, the Shire Chief Fire Control Officer should be immediately notified. The CFCO should in turn contact Bunbury Fibre Exports

5.6 Location Of Fire Control Equipment.

Fire units that may be available are both privately owned and volunteer brigade units derived from neighbouring properties and central depots, as well as plantation industry firefighting resources.

In addition, the plantation industry as a whole has recognised the importance of a unified approach to the control and management of fires within or close to its plantation estate and has developed the Plantation Managers Fire Agreement to ensure the most efficient and effective responses are made to wildfires. BFE are one of nine plantation industry signatories to this Agreement. The combined resources of the industry in terms of both manpower and equipment are extensive and are strategically located both in major centres and on or near plantations throughout the South West and Great Southern Regions. In the event of a fire on or threatening these properties BFE can call on the combined resources of the plantation industry in accordance with the protocols laid out in the Agreement. Information relating to suppression resources at an industry level is also tabled below.

Location and capacity of Brigade fire appliances:

Location	Light Units Min. 450L	Med. Duty Units Min. 1900L	HD Units Min. 2700L
Duranillin	4		1

Location and capacity of fire appliances:

Location	Light Units Min. 450L	Med. Duty Units Min. 1900L	HD Units Min. 2700L
Ents Forestry Bunbury	2		1
PF Olsen Collie	1		1
WAPRES Manjimup and Bunbury	2		2
BFE Bunbury	2		
FPC Mcalinden		1	

Note: WAPRES also have a 950 loader and 10,000 litre water truck located at Manjimup

Location and capacity of DBCA fire appliances:

Location	Light Units Min. 450L	Med. Duty Units Min. 1900L	HD Units Min. 2700L
DBCA Blackwood & Wellington Districts Collie and Kirup	8	2	8

5.7 Initial attacks on fires

In the event that BFE becomes aware of a wildfire within, adjacent to or approaching the property, staff must first alert the relevant authorities by calling triple zero.

Staff should then identify the most appropriate and available fire attack options, which are likely to be those in closest proximity to the fire, being those located in Collie or Mcalinden (both within 30 minutes of the plantation). The most appropriate attack option must also consider the suitability of the equipment and personnel in the context of the particular incident.

Brigade units will be the primary fire fighting source supported by Department of Fire and Emergency Services (DFES) funded through the Western Australian Emergency Services levy.

Initial attack on fires will be via the Bush Fire Brigade system coordinated by the local Fire Control Officer, FESA and the West Arthur Shire. At the time of writing, the Boyup Brook Shire have advised that they will not enter plantations or forests on private land but are likely to attend the boundary of the property to assist with fire which is burning in adjacent grassland. DBCA may also attend given the properties proximity to State Forest and Conservation Reserves. BFE and the plantation industry will also supply units for fire suppression, mop-up and control.

Initial attack on a fire will be dependent on head fire rates of spread and fire intensities. It is proposed experienced personnel will assess each fire, in response to the following values in order of priority.

1. Human Life.
2. Community assets, property or special values (including environmental values).
3. Cost of suppression in relation to values threatened.

With fire behaviour and values in mind response strategies should follow this order of priority as a guide -

- 1 Direct attack on headfires where (Head Fire Forward Rate of spread) HFROS allows.
- 2 Indirect attack on headfire by extinguishing flank fire working towards the headfire.
- 3 Limit fire spread to pre-determined internal strategic firebreaks.
- 4 Limit fire spread to compartment breaks.
- 5 Limit fire spread to property boundary firebreaks where property is block planted.
- 6 Fall back to neighbouring properties, roads or where fire can be safely extinguished.

5.8 Access in and around plantation

Access to the plantation is via Bowelling McAlinden Road.

The plantation already has trafficable firebreaks in and around the perimeter in accordance with Shire by laws and Guidelines for Plantation Fire Protection. External breaks will be 15 metres wide, internal 6 metres. Access will also be maintained to water supplies. (See map for details)

5.9 Method of road, track and firebreak maintenance

Most firebreaks will be sprayed in early spring to ensure the appropriate width of mineral earth break is obtained prior to the fire season. Appropriate buffer zones will be observed in order to prevent contamination of waterways.

Grading will be used if required to improve trafficability on the roads and firebreaks and to construct water barriers if required to manage water-flow on the firebreaks and to minimise the potential for erosion

5.10 Measures to protect powerlines and gas pipelines

Two powerlines exist on this property.

5.11 Direction indicators of water points, road signs and other features

Water points will be marked on the fire control plan, and will be sign posted in the field with regard to direction and position.

Copies of the maps will also be placed in a water proof canister at the access to the property on the Bowelling – McAlinden Road.

5.12 Water supplies

The water points on the property will be maintained in order to provide permanent water supplies throughout the summer months for fire control purposes.

Portable pumps may be required to access water during dry seasons.

5.13 Surrounding fuels

There are no plans, at this stage, to carry out a fuel reduction program on or adjoining the property.

5.14 Fire breaks

Firebreaks will be maintained in accordance with Shire regulations and the Guidelines for Plantation Fire Protection, as shown on the attached map by the landowner.

5.15 Existing plantations in the area

The nearest plantation is 1 kilometre to the South on Bowelling – McAlinden Road and is named MUJA and is managed by Forest Products Commission

5.16 Surrounding values

The closest houses are located 2 kilometres to the North.

5.17 Proximity to townsites

The plantation is approximately 30 km north of the Boyup Brook town centre via the North Boyup Brook and the Bowelling – McAlinden Roads

6. TIMBER HARVESTING PLAN

6.1 Location of harvesting operation

The first and second harvesting or thinning operations on this proposed plantation will take place over the entire area of the plantation as shown on the attached map and will be based on a harvesting plan to be developed closer to the time of harvesting which will be in about 2037. Haulage route will be via Bowelling - McAlinden Road.

BFE will liaise with the Shire when submitting application for Shire Endorsement to use Multi Combination Vehicle (MCV) for road haulage.

Bowelling- McAlinden Road is currently on the Main Roads WA HVS Rav Network for Network 3 and Network 4 Vehicles.

6.2 Timetable

Thinning will occur when the plantation is approximately 15 years of age, and a further thinning at 22 years of age with the final harvest at 30 years of age.

6.3 Harvesting operations

Harvesting will be carried out using conventional plantation harvesting equipment. This currently consists of track mounted harvesters fitted with a felling / debarking head which leave processed logs in the plantation to be picked up by an all-wheel drive rubber tyred forwarder which are later loaded on to trucks. The operation will be a clear fall, which means all standing trees will be removed.

6.4 Machinery and transport

Transport will be by truck configurations, which are legal and permitted by Main Roads and Local Authorities.

Bowelling- McAlinden Road is currently on the Main Roads WA HVS Rav Network for Network 3 and Network 4 Vehicles.

6.5 Environmental safeguards

The extraction of timber will be carried out using appropriate equipment for the plantation and soil conditions and competent personnel to achieve the standards of safety, environmental care and economic efficiency.

6.6 Safety

Plantation operations will be as safe as possible and comply with occupational health and safety legislation, and the Safety Code for Western Australian Logging Operations must be observed.

Note: A map including areas to be planted, fire breaks, water points, initial access points and other protective measures must accompany the plan.

Updated by: Tom Rouse

17/10/2022

Approved by Plantation Manager:

—/—/—

West Arthur Shire

Plantation Details

Address: 1666 Bowelling-Mcalinden Rd, Bowelling WA 6225
 Title: Lot 7 D073667, Lot 2506 P133551, Lot 2567 P140501, Lot 128 P301903
 Title Area: 1192.7ha
 Land Owner: Mitsui Bussan Woodchip Oceania
 Contact: William Chow
 Phone: 0419 349 180
 Plantation Manager: Bunbury Fibre Exports
 Contact: Rayna Barr
 Phone: 0402 067 664
 Shire: Boyup Brook, West Arthur

Plantation Area

Proposed Pine Plantation Area = 717.7ha
 Proposed Carbon Plantation Area = 16.1ha
 Total Plantation Area: 733.8ha

Legend

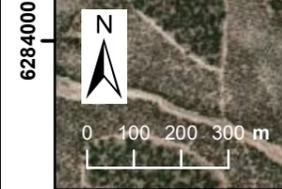
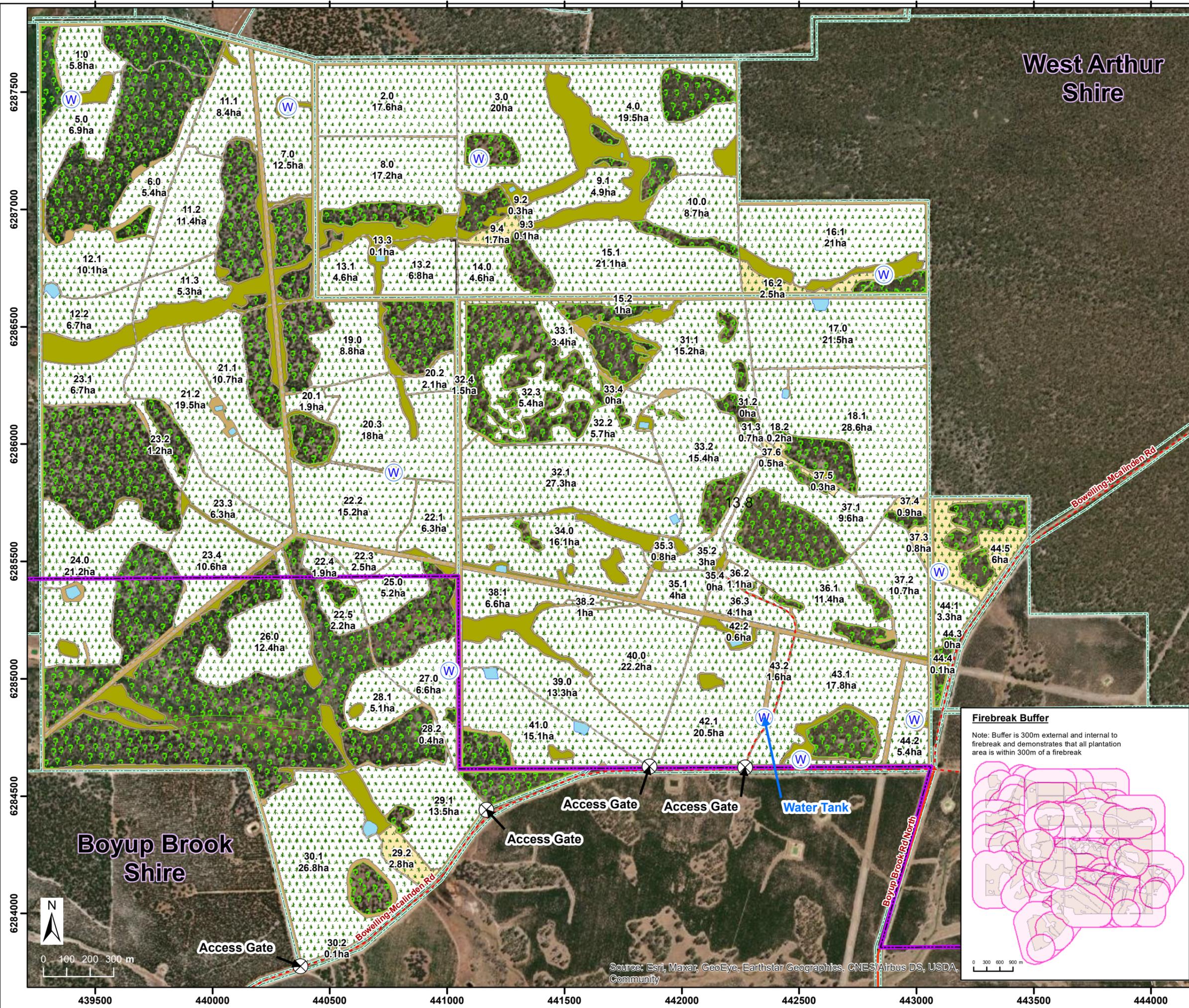
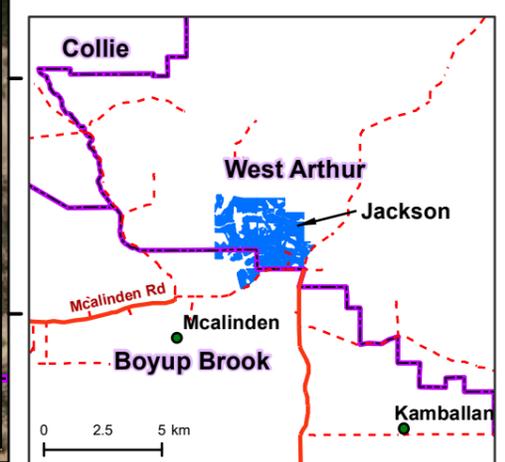
- Access Gate
- Main Access Gate
- Permanent Water Point
- Sealed Road - 2 lanes
- Unsealed Road - 2 lanes
- Unsealed Track - 1 lane
- Hydrology
- Dam
- Firebreak
- Native Vegetation
- Unproductive
- Cadastre
- Shire Boundaries
- Heritage Area

Note: External firebreaks are a minimum of 15m wide and internal breaks are a minimum 6m wide, with a minimum 6m trafficable and 4.5m vertically. All breaks do not exceed a maximum grade of 1 in 8, or a maximum cross fall of 1 in 33. Internal tracks are a minimum 3m clearance on either side of the pavement with (total 6m) have a minimum 4m vertical clearance and a minimum load limit of 15 tonnes. Turnarounds have a minimum inner radius of 12m.

Map Scale: 1:15,000 @ A3
 Projection GDA94 Zone 50
 Author: D.Denning, Esk Mapping & GIS, 0408747754
 Date: 28/09/2022

Firebreak Buffer

Note: Buffer is 300m external and internal to firebreak and demonstrates that all plantation area is within 300m of a firebreak





Mitsui Bussan Woodchip Oceania Pty. Ltd

ECONOMIC AND SOCIAL IMPACT STATEMENT

Supporting Armstrong plantation proposal

February 2022

1. Background and Scope

The Shire of Boyup Brook has requested Mitsui Bussan Woodchip Oceania (MWO) provide, as part of its planning application to convert the Armstrong plantation in Dinninup to a pine plantation, an Economic and Social Impact Statement (ESIO) with a specific reference to the number of jobs lost or created and the resulting social impact.

The Shire has stated preference to avoid broadscale plantations, to protect the agricultural sector and to promote small-scale forestry / farm forestry within the Shire. While MWO respects the Shire's position to avoid perceived adverse impacts of plantation establishment, MWO agrees with the *FESA Guidelines for Plantation Fire Protection* and other authorities who state that "tree plantings are considered a legitimate rural land use activity".

The scope for preparing any ESIO is broad. In context of the Armstrong plantation, which has been used over the last 20 years as a short rotation Eucalypt plantation, MWO has considered two land uses for comparison in this ESIO. Based on MWO's local experience owning, managing, and disposing of land in the Shire, the two most likely land uses for the Armstrong plantation, given its circumstances and that of the sector, would be:

- Reversion to broadacre farming; and
- Conversion to long rotation (pine) plantation.

The land in question does not include any habitable structures, sheds, or power supply. It does however include established access arrangements around plantation compartments. Considering this, and the general trend of land use discussed further below, "lifestyle" or "mixed farming" is not considered to be a likely land use for this property.

While MWO agrees that small scale forestry / farm forestry would be a positive strategy for the Shire to attract investment, diversify farm incomes, achieve environmental benefits, and enhance productivity of existing farms, the merits of farm forestry as a standalone land use are outside the scope of this ESIO. This said, the viability of small-scale forestry becomes more viable when it is located close to larger scale forestry operations.

2. Approach

MWO has drawn on published reputable information sources to provide an analysis of regional land use trends, to identify and broadly compare the two most likely land uses for the subject property, and finally to describe the contribution of plantation forestry to regional employment and economies. Also provided is some project specific employment and economic contributions.

3. Project contributions to employment and investment

The Armstrong project will contribute significant employment and investment into the region and to the Shire of Boyup Brook. MWO plans to invest approximately \$500,000 in



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operational expenditure in the first year, and considerably more than that over the life of the project. An indicative sum to be paid to harvest and haulage contractors for thinning and final harvest operations over the rotation of the plantation is over \$7 million. Further spending in value adding the logs will occur post-harvest. The project will pay various other contractors for additional services during the rotation.

A summary of the expected employment contribution of the project is provided below. Employment beyond the property in value adding and the building industry is massive, and this is discussed further in this report.

Operation	Employment	Timing	Location
Planning	In-house	Full time	Local and National
Seed growing	Service provider	Continuous	State/National
Nursery (seedlings)	Service provider	Continuous	Local
Weed control	Service provider	Seasonal	Local
Fire break maintenance	Service provider	Seasonal	Local
Planting	Service provider	Seasonal	Local/State
Monitoring	In-house	Continuous	Local
Forest inventory	Service provider	Years 10,15,20	Local/State/National
Thinning/haulage	Service provider	Years 12,18	Local/State
Road maintenance	Service provider	Age 12,18,30	Local
Harvest/haulage	Service provider	Year 30	Local/State
Harvest supervision	In-house	Year 30	Local
Business management	In-house	Full time	Local/State/National
Property maintenance	Service provider	Continuous	Local

MWO (or its subsidiary Bunbury Fibre Exports) plans to employ full time staff to manage the Armstrong property and it is noted that MWO have similar intentions for the other existing plantations they own within the Shire.

4. Societal and land use trends

Trends which MWO considers particularly pertinent to this ESIO are:

- Regional demand for building and forest products; and
- Broadacre farm size and production.

4.1 Housing and demand for timber products

Domestic demand for pine sawlogs is growing rapidly. Lumber for Australian housing is predominantly supplied by domestic sawmills, with the balance supplied by imports. The domestic sawn timber industry cannot currently keep pace with demand, which is leading to timber shortages and construction delays (ABARES 2019).

Dwelling unit commencements and new private sector house commencements in the June Quarter 2021 are both up over 50% compared to the same period in 2020 (Australian Bureau of Statistics, Building Activity, Australia June 2021), and this trend is anecdotally continuing with strength. Imports are also currently unable to supply the shortfall of lumber to the Australian building industry.

Given that the building industry generates massive employment and economic activity for WA, and the declining availability of pine sawlogs, the Government of Western Australia has



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decided to invest \$350m into growing the pine plantation estate. The State Government funds are mentioned only to highlight the acute need for additional plantations in WA, MWO is not currently a recipient of any of these funds.

4.2 Broadacre farm size and production

It is well understood that across regional Australia, production farms are consolidating. The number of farms has dropped by over 50% between 1978 and 2018, while production has continued to grow (ABARES) – meaning less farms producing more output.

The trend of farm consolidation is widely considered to be the result of farmers pursuing economies of scale. This economy of scale is demonstrated by data produced by ABARES in 2021 that showed “the largest 10% of broadacre farms produced around half of total output, while the smallest 50% of farms produced around 10% of total output.” Farms are getting bigger and more efficient, and for good reason.

5. Agriculture and Forestry compatibility

While it is the case that farming and forestry compete for land in some regions, the two industries can be compatible and even complimentary.

5.1 Farm forestry

Using livestock to manage fuel loads beneath plantation trees is common. In a plantation nearby the subject plantation, the Forest Products Commission of WA (FPC) has an agreement with a neighbouring farmer to allow stock beneath the plantation for the mutual benefit of farmer and forester. Mitsui is open to a similar approach at a point where trees have grown to a stage which would allow grazing to occur without damaging plantation trees and when doing so doesn't threaten the health of remnant vegetation.

Farm forestry can improve a farms productivity, profitability, resilience, and sustainability. A multi-year or multi-decade crop like a tree plantation allows farmers to diversify their income and adjust the harvest year to when it suits their cash needs or when timber markets are stronger. Successful small scale farm forestry requires forestry expertise, quality seedlings, professional management and efficient operations and logistics.

Small, poorly managed plantations are commonly unsuccessful and financially unviable. Larger plantations such as the one proposed at Armstrong provide the scale necessary to attract and retain the expertise and efficiency to ensure affiliated financially viable small scale farm forestry. MWO is committed to working with local farmers in the region to help them establish farm forestry plantings and assist them to access to the Australian Carbon Credit Unit (ACCU) market.

5.2 Posts and poles

There exists two post and pole producers in South West WA. These are Koppers Wood Products in Picton and Timber Treaters in Bridgetown. The posts and poles are an important source of materials for agricultural businesses in the region. Pine posts and poles are a light, durable and cost competitive fencing material for farmers. Without the pine plantation industry, farmers may be forced to use relatively heavy and expensive concrete or steel posts.



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6. Likely land use and employment impact

The trend of consolidation of Australian farms, and the local experience of Mitsui in regional Australia indicates that if the Armstrong plantation, at 373ha was converted to agriculture, it would likely be absorbed into a larger agricultural enterprise. Even if it was not consolidated into a larger enterprise, combined with the parallel trend of increasing farm machinery size and efficiency, it is unlikely any additional or a greater amount of agricultural employment would be generated than compared to the current circumstances.

Similarly, the shift from short rotation Eucalypt to pine does not adjust the jobs involved at a property level. As a standalone plantation, it is also likely Armstrong could only be feasibly developed as a new pine plantation as part of a broader plantation business. Beyond the property level, however, is the multiplier effect of the product being harvested. Virtually all pine sawlogs in the region are processed in South West WA and final timber products consumed by Australian businesses and families. Considering the full life cycle of a pine plantation from seed production to wall-stud installation, Australian employment is generated at every step, mostly regional employment, and a large proportion in South West WA.

The flow on employment of pine saw logs, which are used almost exclusively for domestic processing and consumption - compared to agriculture, from which 70% of products are exported (ABARES), MWO contends that the total employment on a regional scale is arguably greater for pine plantation than broadacre farming.

The quality of employment is also a consideration. Based on ABARES data and research by Schirmer et al. 2017, the plantation forestry industry generates a greater proportion of full-time employment than other sectors of the economy (84% Vs 68% respectively). On a national scale, less than 30% of jobs generated by broadacre farming are full time jobs (ABARES). As a result of plantation forestry's high proportion of full-time employment, plantation forestry workers in WA are less likely to earn lower incomes and more likely to earn higher incomes. This research demonstrates that plantation forestry jobs are of a high quality, providing workers with reliable, disposable income to spend in the wider economy and community.

7. Social impact

Given that it is most likely that both broadacre farming and a standalone plantation forestry project would absorb this property into a larger enterprise, the employment generated by either land use is unlikely to be significant enough to have a material impact on society in proximity of the property. MWO contends that social impact at a local scale is more likely to be connected to the quality of employment generated by the land use. Given that plantation forestry generates more full time, high paying jobs than other sectors in WA (Schirmer et al. 2017), it is unlikely that any negative social impact would result from the plantation being established.

As has occurred before, MWO remains committed to positive social impact and can again sponsor within the local community via its subsidiary Bunbury Fibre Exports.

8. Economic and employment impacts of the pine plantation sector

This section considers two key publications based on social and economic research. One is WA specific and the other considers the South West Slopes region of NSW – where a large



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and mature pine plantation sector exists. The periods covered by both publications overlap because they coincide with the publication of, among other things: the ABS' *2016 Census of Population and Housing*, and the *2016 Regional Wellbeing Survey*.

The University of Canberra and Econsearch were commissioned by Forest and Wood Products Australia to complete a socio-economic impact study of Western Australia in 2017 (Schirmer et. al. 2017). The report considers employment from *primary production* (growing and harvesting timber), *primary processing* (sawmilling etc.) and *secondary processing* (cabinetry, etc.). The paper does not include peripheral economic activity generated by plantations such as livestock grazing, seed production, recycling timber products after use, recreation etc. A summary of the findings of Schirmer et al. (2017) are presented here.

8.1 Economic value

The total direct and indirect value of output generated by the WA forest industry at the point of sale of primary processed products in 2015-16 was approximately \$1.4 billion. Of this, the greatest share was generated by the pine plantation sector. Using another measure- Gross Regional Product (GRP)- the contribution was \$643m generated by the WA forest industry. The greatest proportion was, again, delivered by the pine plantation sector.

The South West of WA (which includes Boyup Brook shire) contributed \$327m which represented more than half of the total GRP figure and the greatest share. The pine plantation sector generated the greatest proportion of GRP in the WA forest industry.

8.2 Direct expenditure

Total direct expenditure by the WA forest industry by growing, harvesting and primary processing in 2015-16 was \$979m. South West WA accounted for around 60% of this expenditure. Of the nearly \$1b of expenditure, the pine plantation sector accounted for \$366m. Given the push by industry and the State and Federal governments for an increased investment in softwood plantations, the share of expenditure in the pine plantation sector is expected by MWO to significantly increase in coming years.

8.3 Household income

The WA forest industry generated \$354m in household income in 2015-16. Of the three WA regions considered in the research, South West WA received the greatest share of household income at \$196m (56%).

8.4 Employment

The WA forest industry contributed 4,570 direct and indirect jobs to the WA economy in the 2015-16. An additional 1,495 jobs were contributed by secondary processing in 2016. Combined, the total employment contribution is around 6,000 jobs in WA. Of these, almost half, or 2,763 jobs were generated in South West WA. A large proportion of jobs are generated during primary processing.

South West WA is a hub for processing, so the proposed plantation will not only generate jobs at a property level, but the harvested logs will also support many more jobs in the region. Although these might not all be for people who reside within the Shire of Boyup Brook, neither are secondary agricultural jobs all self-contained within the Shire boundaries.



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Of the total jobs generated by primary processing in the WA forest industry, the greatest proportion of jobs were generated by the pine plantation sector and the greatest proportion were also generated in South West WA.

8.5 Working conditions

The WA forest industry generates more full-time jobs than other industries. The forest industry employs 84% as full-time staff, compared to the broader workforce which employs 68% as full-time staff. The trend for full-time proportion has remained reasonably steady between 2006-2016 for the forest industry and consistent with the trend of the broader workforce of other industries in WA.

In 2016, forest industry workers were less likely than those in other industries to earn lower incomes (less than \$649 per week), and more likely to earn higher incomes (more than \$1,250 per week). The relatively better incomes are likely to be linked to the high rates of full-time work. The trend between 2006 and 2016 was also positive for both the above metrics – with less workers earning lower incomes and more workers earning higher incomes. Of those earning full-time incomes, the proportion on lower incomes has declined between 2006-2016 and the proportion earning higher incomes has grown over the same period – these are both positive trends.

9. Economic and social impacts of the NSW pine plantation sector

A report published and funded by the NSW Department of Industry and Forest and Wood Products Australia (DPI 2017) investigated the contribution of the large, mature pine industry in the South West Slopes region of NSW in 2015-16. Some key findings are presented below.

- The direct gross output from timber processors in the SW Slopes region was over \$1 billion.
- The total gross output by the agricultural sector to the point of farm gate in the same region was approximately half the above.
- The total expenditure of the tourism sector in the Snowy Mountains region (including ski resorts in the Kosciusko region) was less than half the pine plantation sectors direct gross output.
- When indirect gross output is added in the SW Slopes region, the total output by the pine plantation industry doubles to over \$2 billion.
- The gross regional product of the pine plantation sector was over \$1 billion.
- The household income generated by pine plantation sector was almost \$470 million.
- The greatest proportion of forestry industry expenditure (21%) was wages and salaries.
- The above figures are further evidence that the pine plantation sector is a significant contributor to regional and state economies.

10. Summary

The Armstrong project converts an existing plantation operation into a new one. The project relies on significant investment into the Armstrong property, predominantly paid to local contractors. The project will also generate significant employment during its establishment, ongoing management, and harvesting.



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MWO is not aware of any evidence that would suggest converting this plantation land to agriculture would generate any more jobs than the conversion proposed from short rotation Eucalypt to longer cycle pine. Jobs are retained by conversion of the Armstrong plantation and the pine plantation sector as a whole, and these jobs are likely to be of a higher quality than other industries in terms of job security (full-time) and income level.

The benefits of relatively high and stable incomes flowing to forestry workers will increase the likelihood of workers having disposable income to spend in the community.

The proposed plantation development will contribute to the pine plantation sector, generating significant ongoing economic activity, employment, and household income for regional WA. The products from the proposed plantation are likely to be processed in South West WA and the products used by the WA building industry to build housing for West Australians.

If agriculture can be incorporated into the management of the property (livestock to control fuel levels etc.), and if the plantation can provide a level of scale which enables smaller farm forestry to also be developed on neighbouring farms, the social, environmental, and economic benefits are likely to be multiplied again.

11. References

Decline in Farm numbers and increase in production:

<https://www.awe.gov.au/abares/products/insights/snapshot-of-australian-agriculture-2021#employment-on-australian-farms-is-significant-and-varies-throughout-the-year>

Production and farm size: <https://www.awe.gov.au/abares/research-topics/surveys/disaggregating-farm-size>

Schirmer et al 2017. Forestry impact WA:

https://www.fwpa.com.au/images/WA_Report_Dec2017_Final.pdf

WA government investment in plantations:

<https://www.wa.gov.au/government/announcements/premier-announces-softwood-investment#:~:text=The%20Honourable%20Mark%20McGowan%20MLA,Australia's%20softwood%20plantation%20timber%20industry.&text=The%20softwood%20processing%20industry%20currently,State's%20housing%20and%20construction%20market.>

ABARES 2019. Demand for timber.

https://www.awe.gov.au/sites/default/files/abares/documents/PlantationEstablishmentOutlook2050_v1.0.0.pdf

DPI 2017. SW slopes economic contribution.

https://www.dpi.nsw.gov.au/_data/assets/pdf_file/0005/721724/socio-economic-impacts-of-the-softwood-plantation-industry.pdf

WESTERN



AUSTRALIA

REGISTER NUMBER 7/D73667	
DUPLICATE EDITION 3	DATE DUPLICATE ISSUED 27/10/2008

RECORD OF CERTIFICATE OF TITLE
UNDER THE TRANSFER OF LAND ACT 1893

VOLUME 1802 FOLIO 557

The person described in the first schedule is the registered proprietor of an estate in fee simple in the land described below subject to the reservations, conditions and depth limit contained in the original grant (if a grant issued) and to the limitations, interests, encumbrances and notifications shown in the second schedule.

BGRoberts
REGISTRAR OF TITLES



LAND DESCRIPTION:

LOT 7 ON DIAGRAM 73667

REGISTERED PROPRIETOR:
(FIRST SCHEDULE)

NIPPON PAPER RESOURCES AUSTRALIA PTY LTD OF UNIT 8, 89 FORREST STREET, COTTESLOE
IN 7/10 SHARE
MITSUI PLANTATION DEVELOPMENT (AUSTRALIA) PTY LTD OF LEVEL 40, 120 COLLINS STREET,
MELBOURNE, VICTORIA
IN 3/10 SHARE
AS TENANTS IN COMMON

(AN K749635) REGISTERED 22/10/2008

LIMITATIONS, INTERESTS, ENCUMBRANCES AND NOTIFICATIONS:
(SECOND SCHEDULE)

- *C261087 MEMORIAL. COUNTRY AREAS WATER SUPPLY ACT 1947. AS TO PORTION ONLY. LODGED 27/11/1981.
- *C261088 MEMORIAL. COUNTRY AREAS WATER SUPPLY ACT 1947. AS TO PORTION ONLY. LODGED 27/11/1981.
- *D338989 MEMORIAL. COUNTRY AREAS WATER SUPPLY ACT 1947. AS TO PORTION ONLY. LODGED 10/10/1986.
- G738879 EASEMENT BURDEN SEE SKETCH ON VOL 1802 FOL 557. REGISTERED 16/3/1998.
- *G830514 MEMORIAL. SOIL AND LAND CONSERVATION ACT 1945. AS TO PORTION ONLY. REGISTERED 26/6/1998.

Warning: A current search of the sketch of the land should be obtained where detail of position, dimensions or area of the lot is required.
* Any entries preceded by an asterisk may not appear on the current edition of the duplicate certificate of title.
Lot as described in the land description may be a lot or location.

-----END OF CERTIFICATE OF TITLE-----

STATEMENTS:

The statements set out below are not intended to be nor should they be relied on as substitutes for inspection of the land and the relevant documents or for local government, legal, surveying or other professional advice.

SKETCH OF LAND: 1802-557 (7/D73667)
PREVIOUS TITLE: 1503-315, 1558-822

END OF PAGE 1 - CONTINUED OVER

RECORD OF CERTIFICATE OF TITLE

REGISTER NUMBER: 7/D73667

VOLUME/FOLIO: 1802-557

PAGE 2

PROPERTY STREET ADDRESS:

NO STREET ADDRESS INFORMATION AVAILABLE.

LOCAL GOVERNMENT AUTHORITY:

SHIRE OF BOYUP BROOK, SHIRE OF WEST ARTHUR



Our Ref: D26610
Your Ref: Lot 7 Bowelling-McAlinden Road Boyup Brook

Adrian Nicoll
Shire of Boyup Brook
shire@boyupbrook.wa.gov.au

Dear Mr Nicoll

RE: LOT 7 BOWELLING-MCALINDEN ROAD BOYUP BROOK – PROPOSED TREE FARM (FORESTRY) – DEVELOPMENT APPLICATION

I refer to your letter dated 05 December 2022 regarding the submission of a Plantation Management Plan (PMP), prepared by Bunbury Fibre Exports and dated 17 October 2022, for the above development application (DA).

This advice relates only to *State Planning Policy 3.7: Planning in Bushfire Prone Areas* (SPP 3.7), the *Guidelines for Planning in Bushfire Prone Areas* (Guidelines) and the *FESA Guidelines for Plantation Fire Protection 2011* (Plantation Guidelines).

It is the responsibility of the proponent to ensure the proposal complies with relevant planning policies and building regulations where necessary. This advice does not exempt the applicant/proponent from obtaining approvals that apply to the proposal including planning, building, health or any other approvals required by a relevant authority under written laws.

Assessment

- DFES notes a change of use from Eucalypt Plantation to Pine Planation
- The DA is situated in an area designated as bushfire prone.
- Given the nature of the proposal, it is noted that compliance with SPP 3.7 and the Guidelines will not be achieved. Relevant components of a Bushfire Management Plan are addressed through the Plantation Guidelines (specifically layout, access and water) and it is noted that there are no habitable dwellings or other structures proposed that would require assessment against SPP 3.7.
- Further clarification is required within the PMP as outlined in our assessment.

Assessment against the FESA Guidelines for Plantation Fire Protection 2011 (Plantation Guidelines)

A PMP must be submitted that adequately addresses all management responsibilities for the plantation and covers all elements raised in section 3 of the Plantation Guidelines.

Topic	Assessment
Fire Management Plan	<p>e) Fire detection and reporting mechanisms The submitted information has not demonstrated compliance with the requirements.</p> <ul style="list-style-type: none"> The PMP lists “passers by” assumed by DFES as members of the public and “neighbours” as appropriate fire detection methods. An Onsite Manager and/or detection patrols on days of high risk may be a more appropriate method. <p>i) Standardised map legends are to be applied across the plantation industry</p> <ul style="list-style-type: none"> Strategic fire breaks and gates are not clearly presented with standardised icons from the Plantation Guidelines.
Plantation Fire Protection Specifications	<p>4.1 Compartment Size and Layout – modification required The submitted information has not demonstrated compliance with the requirements.</p> <ul style="list-style-type: none"> The PMP does not propose detail on compartment sizes in a table or text. The proposed planting map lists compartment sizes in excess of 30ha. Compartment sizes should be no larger than 30ha where possible or as prescribed by the LG. Compartment sizes up to 100ha may be considered if endorsed by the LG.
	<p>4.2 Fire breaks and Access The submitted information has not demonstrated compliance with the requirements.</p> <ul style="list-style-type: none"> The PMP does not propose detail on Passing bays. Passing bays are recommended to be provided at 200 metre intervals and are a minimum of 20 metres long and 6 metres wide. This allows for emergency vehicle sufficient access to move along a fire line without the impediment of other vehicles.
	<p>4.3 Water Supplies The submitted information has not demonstrated compliance with the requirements.</p> <ul style="list-style-type: none"> The PMP does not propose appropriate details on the water tank infrastructure. 50,000L of water must be permanently available for initial use during fire response. Water tanks should be accessible from a hardstand area with appropriate turnaround area. Water supply facilities should be designed and constructed so that heavy duty firefighting equipment is able to access the supply. A strategic water supply should be no more than 5km or a 20m turn around from the plantation, whichever is most efficient.
	<p>5.0 Equipment and training Every manager, owner and/or occupier has a legal responsibility to try and prevent fire from escaping from their land in line with the Bush Fires Act 1954. The PMP suggests that Bushfire Brigade (BFB) units supported by DFES will be responsible for initial attack of bushfire within the Plantation after Bunbury Fibre Exports have been alerted to a bushfire. Although BFB’s play a vital role in the response to bushfires in rural and pastoral areas it is the responsibility of the plantation owner to provide its own resources for fire mitigation.</p>

	<p>Plantation managers have a responsibility to provide adequately trained personnel for safe and effective operation of firefighting equipment and a capability to carry out onsite fire suppression.</p> <p>DFES notes that the PMP proposes that Bunbury Fibre Exports and the plantation industry will supply fire units for fire suppression, mop-up and control. The PMP states that a Plantation Managers Fire Agreement exist between other industry partners to provide suppression assistance in the event of a fire however there is no agreement or mechanism attached to the PMP to enforce this statement.</p> <p>The submitted information has not demonstrated compliance with the requirements.</p> <p>5.2 Training</p> <ul style="list-style-type: none"> The PMP does not provided detail of staff training and capability. DFES encourages plantation personnel to join existing local brigades to foster closer working relationships with the community and surrounding plantations.
	<p>6.1 Harvesting</p> <p>The submitted information has not demonstrated compliance with the requirements.</p> <ul style="list-style-type: none"> The PMP provides no detail on whether the harvesting operation will comply with harvest and vehicle movement bans imposed by the LG, the plantation manager or State Government Total Fire Bans.
<p>Government Obligations</p>	<p>The PMP references a number of fire response activities to be undertaken by state and local government. It should be noted that responses cannot always be relied upon and that this is not taken to be an obligation on the local fire rescue teams. Modification to the PMP is required.</p>

Recommendation – insufficient information

As per section 3.2.2 of the Guidelines, the decision maker should inform the Office of Bushfire Risk Assessment (OBRM) at email address - obrm@dfes.wa.gov.au, of any approval of a development that increases the area of bushfire hazard for consideration in the next revision of the map of bushfire prone areas.

If you require further information, please contact Senior Land Use Planner Officer - Tristan Whiting on telephone number 9395 9301.

Yours sincerely



Naomi Mynott
DIRECTOR LAND USE PLANNING

22 December 2022
 CC: anicoll@plancreate.com.au

Dear Mr Nicoll,

2022.12.22

RE: Submission regarding Mitsui Bussan / Bunbury Fibre Exports tree farming application for Jackson Plantation.

Thank you for this opportunity to respond to the tree farm application.

Correction on the Mitsui application point 5.16: the nearest houses are reported as 2km away to the north – this is incorrect.

Our dwelling is 350 metres to the west of the closest plantation bluegum coppice.

We have a dam which is 16 metres from the nearest plantation bluegum coppice.

The water from this dam is used to -

1. top up rainwater tanks for drinking and household use
2. irrigate the organic vegetable garden and fruit trees at our dwelling and also fruit trees situated below the dam (25 metres from the bluegum coppice).
3. There are also crustaceans living in the dam.

The rain runoff to the dam flows south down the slope of the plantation western boundary firebreak, across a small clearing on our property, then into the dam. It would absorb any chemical residue present on the firebreak and deposit this into our dam.

Spraying: point 3.8

We have carefully researched the listed chemicals in the weed management plan of the application.

These chemicals raise several concerns for us, prompting an enquiry with the BFE team of William Chow and Rayna Barr (Plantation Forester). At this point we have been assured that there will be no aerial spraying, and that there will be a collaborative approach in regards to spraying in the vicinity of our boundary.

Please be aware that we are vehemently opposed to any aerial spraying which is mentioned in the application. Our view must remain firm in this regard both now and into the future, due to Stephen's chronic health condition which was precipitated by toxic chemical exposure in industry over many years.

This property has been carefully chosen to offer the safest health options for lifestyle and well being. Stephen is highly sensitive to a wide range of chemicals and even minor exposures will cause ill health with lengthy recovery times.

Upon the tree farming application approval, we request that our common boundary be managed with the following key considerations

- spraying is to occur ONLY when the wind is blowing away from our property and waterways
- consider spraying only as required on this boundary, not as per a schedule, and grading would be the preferred option for weed control to avoid chemical runoff and contamination.
- We request advanced notification at all times prior to spraying, so that we can take appropriate measures
- Although not stated in 2.3 under natural features – we are aware of several winter creeks traversing the property which commonly flow between July and October and feed into our property and eventually into the Collie River catchment. We do harvest fresh water crustaceans across this season.

Winter spraying: point 4.4

- runoff, including the above creeks, has the potential to effect the wetlands and goonac population adjacent to McAlinden Rd, and the marron population of the Collie River.
- Of serious concern: Point (4.4) of the application – winter spraying for 2023 – it is requested that this be undertaken with keen observance to minimise runoff, allowing for potential rain fall and the lifespan of the chemical feeding into the winter creek.

Spring spraying: point 5.9

- Grading of tracks and firebreaks is most highly preferred to spraying to avoid runoff.
- Please note that this district does have significant spring rains.
- If weed management is being done in early spring we would prefer grading as the method of choice.
- If spraying is required then late spring is preferred as the rainfall potential is significantly reduced.

Flora and Fauna Concerns:

- Australian Bush Bees, + Blue Banded Bees (ground burrows) Critical to retaining cross pollination for diverse and endangered flora, these burrow and nest locally in clay soils, contributing up to 30% of the cross-pollination in Australian crops.
- Black gloved Wallabies: (Kwoora) (threatened) live and breed in this area – Numbers appear to be declining
- Miriads of wildflowers and orchids on the property – relying on clean rainwater runoff feeding local wetlands on the property from clean winter creeks.
- Locally nesting pairs of Wedgetailed Eagles (threatened) rely on the local ecosystem
- Migratory Rainbow Bee-eaters are resident in this ecosystem from September to May for breeding and rely on the wetlands and waterways, and are ‘ground burrow nesters’ in these areas.

Chemical Notes:

Preplanting Coppice: Glyphosate 450 Nufarm, Metsulfuron-methyl + wetting agent

Strip Spraying: Glyphosate 450 and Simazine

Fertilising Schedule: point 4.3

- **Please advise** us of intended product prior to application
- **Please advise** of any Incidental Pest management requiring extra spraying in the establishment period

Chemical	Use/lifespan	MSDS Weblink	Environmental concerns	Personal Concerns
Glyphosate 450 Nufarm (Roundup)	Herbicide Average half-life soil 47days (Range 1 to 176 days) Half-life pond- 10days – 10 weeks	http://www.apparenta.com.au/documents/msds/65081_APPAR_ENT_GLYPHOSATE_450_HERBICIDE_MS_DS_1.pdf	Non-Toxic to fish, birds Mildly toxic to crustacea and invertebrates Toxic to Marine plants	Eye and Skin irritant, Aspiration hazard. Renal Tumours Mice, Listed as Carcinogenic and Genotoxic, Mutagen
Metsulfuron_Methyl	Organic compound Little is known about the product	https://www.echemi.com/sds/metsulfuron-methyl-tempid160705004435.html https://www.naturalpedia.com/metsulfuron-methyltoxicity-side-effectsdiseases-and-environmental-impacts	Slightly toxic to birds, aquatic organisms, honey bees Warning -do not let compound enter dams or environment	Not enough is known about this compound and no studies have been conducted
Simazine	Herbicide half-life in soil 60 days half-life in ponds 30 days	http://www.apparenta.com.au/documents/msds/65158_APPAR_ENT_SIMAZINE_900_WG_HERBICIDE_MS_DS_1.pdf	Toxic to Aquatic life with long lasting effects, Natural weeds +Algae (changing ecosystem) When burnt will emit toxic fumes(Co2, CO, N,	Carcinogenic in Animals, Inconclusive in Humans, DNA distrupctor, evacuate downhill residents in case of toxic spill of Simazine concentrate

			Hydrogen Cyanide), contain runoff, prevent spillage entering waterways	
Pulse Nufarm	Wetting Agent	https://cdn.nufarm.com/wp-content/uploads/sites/22/2018/05/11170814/Pulse_SDS_3337_1215.pdf	Marine Pollutant, Toxic to fish, not readily biodegradable,	No data available for harmful effects, Long term effects consistent with endocrine toxicity, mucosal and respiratory system irritation

Easement Road Management: point 3.10 – we request continuance of grading maintenance to the shared easement road whenever suitable equipment is available in the area.

Appendix 1:

Map of the plantation western boundary, our property boundary and marked points of interest.

To Conclude:

Since July 2014, we have always supported our neighbour (Nippon Paper / Mitsui), including fire watching and response (a number of fires have occurred), warning off trespassers seeking firewood or illegal hunting and seeing that they leave the property. We believe that further signage including “no trespassing” is needed in this regard. We have discussed this with Rayna Barr.

To this end we have recently completed a Plantation fire fighting course at Boyup Shire offices so that we can continue to support BFE over the coming years.

We are committed to remain supportive neighbours and hope to continue cordial and open dialogue with BFE management team. Again, we request to be kept abreast of all activity which affects the winter creek waterways and spraying schedules in relation to weather conditions, wind strength, and rain forecasts so that we can take appropriate measures to protect Stephen’s health and wellbeing.

With thanks and kind regards,

Stephen & Deirdre Parker
 Lot 3746 Bowelling-McAlinden Rd, McAlinden



State Forest

Runoff down
plantation
firebreak to dam

Lot 3746

Plantation
western
boundary

Adrian Nicoll
Urban and Regional Planner
Shire Boyup Brook

Good morning Adrian. I refer to your email dated the 5th December 2022 enclosing notification of the proposed Tree Farm application on Lot 7 Bowelling-McAlinden Road. It is noted that the proposed tree farm will also extend on to multiple properties within the Shire of West Arthur. The Shire does not have any comment to make at this time as it has not received any development application for this or considered the application.

Kind Regards

Vincent (Vin) FORDHAM LAMONT
CHIEF EXECUTIVE OFFICER

Enquiries (08) 9736 2222
31 Burrowes Street, Darkan WA 6392
All correspondence to:
P.O.Box 112, Darkan WA 6392 or
ceo@westarthur.wa.gov.au
www.westarthur.wa.gov.au





APPLICATION FOR DEVELOPMENT APPROVAL

PLEASE NOTE THAT PAYMENT MUST BE MADE BEFORE PROCESSING THIS APPLICATION

Owner Details				
Name	AARON JOHN WOODALL			
ABN (if applicable)	38 595 437 816			
Address	255 ABELS ROAD	Postcode	6244	
Phone	0434 345 706	Mobile		Work
Contact person for correspondence	AARON WOODALL			
Signature	a woodall		Date	12/12/2022
Signature			Date	
<i>The signature of the owner(s) is required on all applications. For the purposes of signing this application an owner includes the persons referred to in the Planning and Development (Local Planning Scheme) Regulations 2015 Schedule 2 clause 62(2)</i>				
Applicant Details (if different from the owner)				
Name				
ABN (if applicable)				
Address		Postcode		
Phone		Mobile		Work
Contact person for correspondence				
The information and plans provided with this application may be made available by the local government for public viewing in connection with the application.				Yes <input type="checkbox"/> No <input type="checkbox"/>
Signature			Date	
Property Details				
Lot No.		House No.		Location No.
Diagram/Plan No.		Title Vol. No.		Folio No.
Title encumbrances (eg easements, restrictive covenants)				
Street Name	255 ABELS ROAD	Suburb	BOYUP BROOK	
Nearest Street Intersection	BANKS ROAD			



Proposed Development				
Nature of development	Works <input type="checkbox"/>	Use <input checked="" type="checkbox"/>	Works & Use <input type="checkbox"/>	Signage <input type="checkbox"/>
Is an exemption from development claimed for part of the development?				Yes <input type="checkbox"/> No <input type="checkbox"/>
If yes, is the exemption for	Works <input type="checkbox"/>	Use <input type="checkbox"/>		
Description of proposed works and/or land use				
PRODUCTION OF FILTRATION SYSTEMS AND FIREARMS				
Description of exemption is claimed				REPAIR
Nature of any existing buildings and or land use				
LARGE STEEL STORAGE / WORKSHOP				
Approximate cost of proposed development				
\$500.00				
Estimated time of completion				
3 MONTHS				
Office Use Only				
TPS No.		Zone		Other
Use Type				
Description				
Assessment No.		Building Licence No		
Acceptance Officer's initials			Date received	
Local Government reference No.				
Cashier				
Application No.		Reception Received Stamp		
Receipt No.				
Amount				
Signature				
Date				

Home Business Application for 255 Ables Roads Boyup Brook

Both business operate under-
A.J.Woodall Nominees PTY.LTD as
Trustee for The Helm Trust
ABN; [38 595437816](https://abn.gov.au/abn/38595437816)
Trading as First Time Firearms and Enviro Desalinators
Phone; 0412 942 359
Email; info@envirodesalinators.com.au

Address

255 Ables Road
Boyup Brook WA 6244

Postal Address

PO Box 260
Boyup Brook WA 6255

Included in application document's-

- Enviro Desalinator business description
- First Time Firearms business description
- Property/ building map

Enviro Desalinators

- Sales of desalination systems (water makers) through web marketing to Marine, Rural and Commercial clients.
- Sales of filtration components and systems) through online web marketing to Marine, Rural and Commercial clients.
- Water testing service, Rural and commercial clients.
- Desalination systems are assembled on site from existing components and technology, then transported to clients property/vessel for instal and commissioning.
- Filtration systems designed and assembled on site to meet client's needs, then posted or transported for instal by client or site instal and commission.
- Water testing on clients site is carried out with test kits supplied by Perth laboratory, testing kit then returned to laboratory by way of Australian Post.
- Systems average 65kg and have a footprint of 1.2 x 0.6 x 0.4 meters.
- All motors are electric, and systems produce approximately 60 decibels when being tested.
- Transport of components and completed systems by utility vehicle, no heavy vehicles/machinery or truck required.
- Business requires 10 square meters within workshop to operate.
- Website Link; <https://www.envirodesalinators.com.au/>

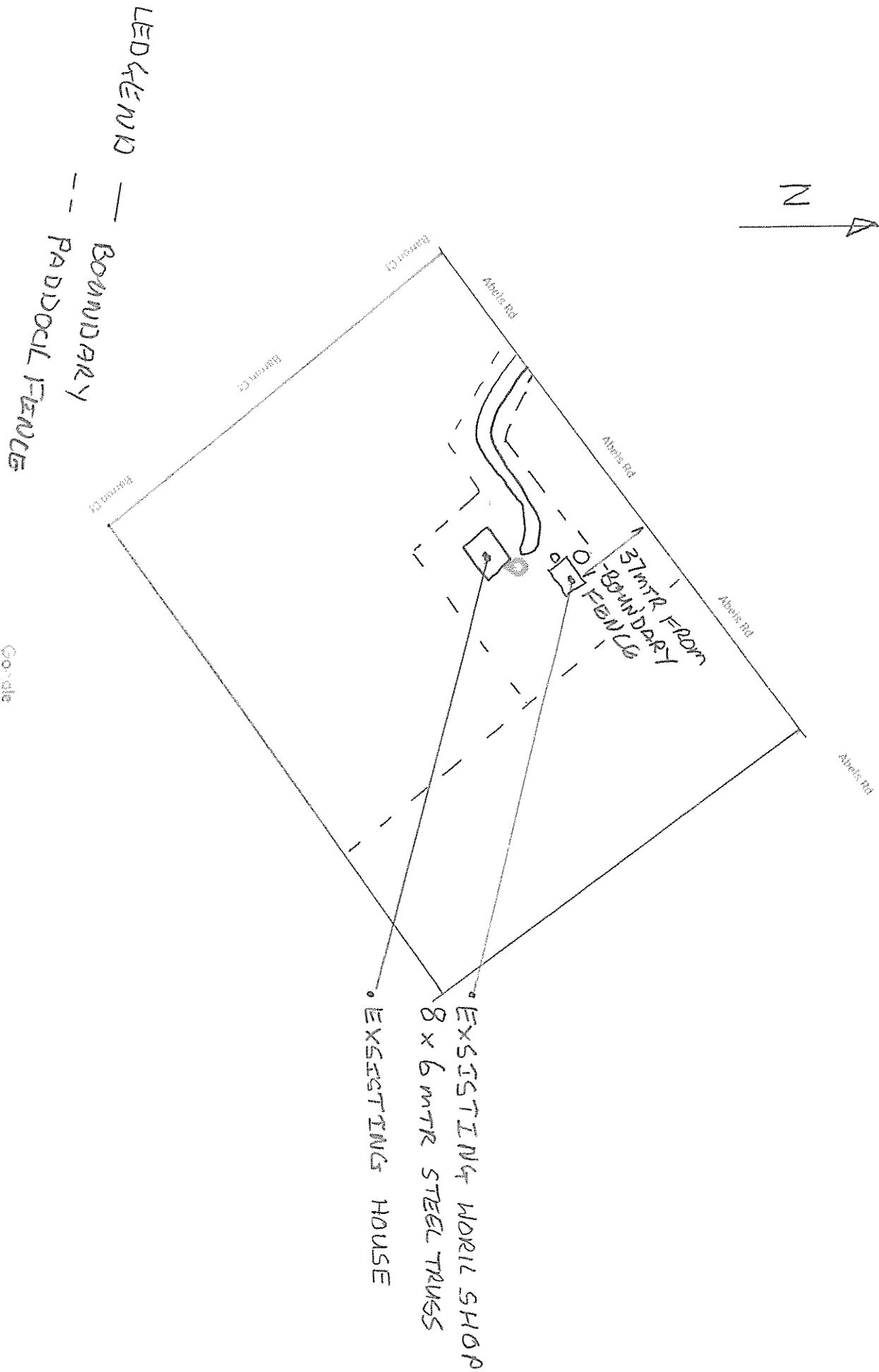
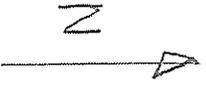
First Time Firearms

- Firearm repair and firearm parts dealer services.
- Repair, maintenance, and cleaning of licenced firearms on site.
- Collection and transport of licenced firearms to and from workshop in purpose equipped utility vehicle, no heavy vehicles/machinery required.
- Collection and transport of firearm components to and from workshop in purpose equipped utility vehicle, no heavy vehicles/machinery required.
- Online web sales of firearm accessories(no WAPO licence required).

- Transport of components and completed systems in purpose equipped utility vehicle, no heavy vehicles/machinery required.
- Business requires 10 square meters within workshop to operate.
- Website currently under construction business name registered.
- All services delivered in full compliance with the WA Firearms Act.
- Dealers licence requirements; <https://www.police.wa.gov.au/About-Us/Our-Agency/Police-Licensing-Services/Firearms-Licensing/Dealers-Repairers-Manufacturers-Licences>

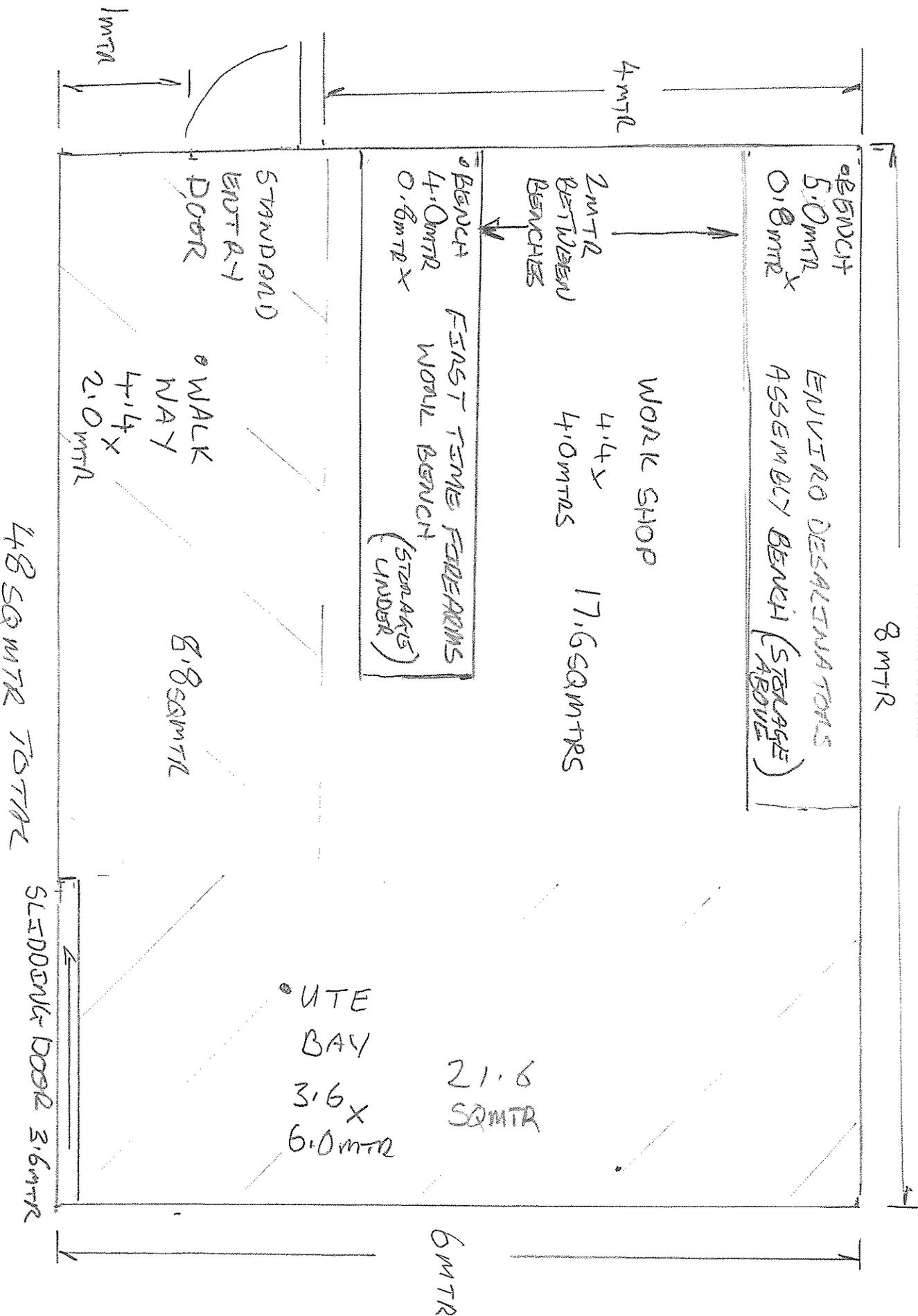
HOME BUSINESS APPLICATION FOR LOCATION ADDRESS 255 ABELS ROAD BOYUP BROOK SITE PLAN

- Enviro Desalinations
- First Time Firearms



HOME BUSINESS APPLICATION FOR Floor Plan ADDRESS 255 ABELS ROAD BOYUP BROOK SITE PLAN

- Enviro Desalinations
- First Time Firearms



48 SQMTR TOTAL



Shire of Boyup Brook

Abel Street
PO Box 2
Boyup Brook WA 6244

Office Hours:
8.30am to 4.30pm
Weekdays

Telephone: (08) 9765 1200
Facsimile: (08) 9765 1485
E-mail: shire@boyupbrook.wa.gov.au
Website: www.boyupbrook.wa.gov.au

ABN: 95 583 688 034

Payer: Aaron Woodall
255 Abels Rd
BOYUP BROOK WA 6244

Receipt Number: 32702

Receipt Date: 15.12.22

Receipt Type	Detail	Amount
Miscellaneous	Application Planning Approval Estimated cost \$500 255 Abels Rd Account: 11050010	\$147.00

* GST Exclusive Charge	\$147.00	Total	\$147.00
* GST	\$0.00	Tendered	\$147.00
Cash	Cheque	Other	Change Given
\$0.00	\$0.00	\$147.00	\$0.00
		Round Amount	\$0.00

Office Copy Only Shire of Boyup Brook Receipt Number: 32702 Receipt Date: 15.12.22

Receipt Type	Detail	Amount
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		Round Amount	\$0.00

**Shire of Boyup Brook
Local Planning Scheme No. 2
Scheme Amendment No. 24**



**Lots 51, 1007 & 1118
Boyup Brook – Arthur Road, Boyup Brook**

**PLANNING AND DEVELOPMENT ACT 2005
RESOLUTION DECIDING TO AMEND A TOWN PLANNING SCHEME**

SHIRE OF BOYUP BROOK LOCAL PLANNING SCHEME No. 2

AMENDMENT No. 24

RESOLVED that the local government in pursuance of Section 75 of the *Planning and Development Act 2005*, amend the above Local Planning Scheme by:

1. Rezoning Lots 51, 1007 and 1118 Boyup Brook – Arthur Road, Boyup Brook from the 'Rural' zone to the 'Special Use (SU2)' zone.
2. Inserting the following provisions in Table 5 - Special Use Zones in Scheme Area:

No.	Description of land	Special use	Conditions
SU2	Lots 51, 1007 and 1118 Boyup Brook – Arthur Road, Boyup Brook	<p>A future residential estate, contemplating both residential and rural residential zones, where the mix of lots is to be addressed via a structure plan.</p> <p>Permissibility: Uses permitted within the areas designated as 'Residential' are as per the Zoning Table.</p> <p>Uses permitted within the areas designated as 'Rural Residential' are: Ancillary Dwelling 'P' Art Gallery 'D' Bed & Breakfast 'D' Dams 'D' Community Purpose 'D' Family Day Care 'A' Holiday House 'D' Holiday Accommodation 'A' Home Business 'D' Home Occupation 'P' Home Office 'P' Home Store 'D' Industry – Cottage 'D' Recreation – Private 'A' Repurposed Dwelling 'D' Residential Building 'A' Rural Home Business 'A' Second Hand Dwelling 'D' Single House 'P' Telecommunications Infrastructure 'D' Wayside Stall 'D'</p> <p>All other uses are 'X' (prohibited).</p>	<p>General application</p> <ol style="list-style-type: none"> 1. The conditions in this schedule apply to SU2 in addition to all other relevant provisions in the Scheme. 2. If there is a conflict between any other provision in the Scheme, this Schedule prevails. <p>Structure Plan</p> <ol style="list-style-type: none"> 3. Prior to subdivision and development, a structure plan is to be prepared and endorsed by the WAPC. 4. Proposed future zones and reserves in the structure plan are to accord with the zones and reserves of the Scheme. 5. In addition to the matters required in clause 16 of the deemed provisions, the structure plan is to address: <ol style="list-style-type: none"> a. Servicing arrangements, including <ol style="list-style-type: none"> i. Arrangements for an electricity supply; ii. Provision of a licensed water supply for lots designated for residential purposes; or iii. If a licensed water supply is not to be provided, lots are to be designated as rural residential with a minimum lot size of 1 ha; iv. Site and Soil Evaluation to demonstrate a suitable approach to wastewater disposal. v. Drainage and water management as per a

No.	Description of land	Special use	Conditions
			<p>Local Water Management Strategy.</p> <ul style="list-style-type: none"> b. Access and egress for bushfire safety, in accordance with State Policy. c. Foreshore management, including: <ul style="list-style-type: none"> i. Allocation and design of Foreshore reserves and areas of public open space; ii. Proposed arrangements for weed control, revegetation, fencing, pedestrian access and restrictions on vehicular access. d. Traffic Impact Assessment, including potential upgrades to existing roads and intersections servicing the proposed estate. e. A movement network that provides suitable transport options for vehicle, bicycles and pedestrians. <p>Subdivision</p> <ul style="list-style-type: none"> 6. Future subdivision shall generally be in accordance with a Structure Plan endorsed by the WAPC. 7. Aboriginal heritage protection as per an ethnographic and archaeological survey by a qualified consultant. 8. Based on site conditions, at subdivision stage, the Commission may impose added conditions relating to: <ul style="list-style-type: none"> (a) Revegetation and landscape planning addressing: <ul style="list-style-type: none"> i. Buffer strip planting adjoining Boyup Brook – Arthur Road/Bode Street and surrounding rural use land. ii. Ongoing separation of lots to remaining rural use land within the structure plan area to be staged as applicable. iii. Protection of high value native vegetation to maintain rural landscape character. (b) Restrictive covenants for prevention of direct vehicular access between lots and Boyup Brook – Arthur Road/Bode Street. (c) Notifications on Title relating to:

No.	Description of land	Special use	Conditions
			i. Nuisance impact to residential amenity from adjacent rural operations; or ii. The Shire's resource recovery centre. <i>Note: Structure plan areas are to be zoned progressively, as land is subdivided, and when opportunities arise for scheme amendments.</i>

3. Amending the Scheme Map accordingly.

Determines Amendment No. 24 is a standard amendment under the provisions of the *Planning and Development (Local Planning Schemes) Regulations 2015* for the following reasons:

- An amendment relating to a zone that is consistent with the objectives in the scheme for that zone;
- The amendment is consistent with the draft Local Planning Strategy;
- The amendment would have minimal impact on land in the scheme area that is not the subject of the amendment; and
- The amendment does not result in any significant environmental, social, economic or governance impacts on land in the scheme area.

Dated this _____ day of _____ 2023

Chief Executive Officer

Date

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Attachments		
1	Certificates of Title	
2	Location Plan	
3	Site Plan	
4	Context, Opportunities and Constraints Plan	
5	Local Water Management Strategy (incorporates Wastewater Management Assessment)	
6	Bushfire Management Plan	
7	Extract of draft Local Planning Strategy	
8	Local Structure Plan	
9	Concept Subdivision Plan	
10	Engineering Servicing Report	
11	Traffic Management Assessment	

PROPOSAL TO AMEND A LOCAL PLANNING SCHEME

- | | |
|---|--|
| 1. LOCAL GOVERNMENT: | Shire of Boyup Brook |
| 2. DESCRIPTION OF LOCAL PLANNING SCHEME: | Local Planning Scheme No.2 |
| 3. TYPE OF SCHEME: | Local Planning Scheme |
| 4. SERIAL NUMBER OF AMENDMENT: | 24 |
| 5. PROPOSAL: | i) Rezoning Lots 51, 1007 and 1118 Boyup Brook – Arthur Road, Boyup Brook from the Rural zone to the Special Use (SU2) zone.
ii) Adding provisions to Table 5.
iii) Amending the Scheme Map accordingly. |

REPORT BY THE SHIRE OF BOYUP BROOK

1. INTRODUCTION

The Shire of Boyup Brook seeks the support of the Western Australian Planning Commission (WAPC) and the approval of the Hon. Minister for Planning to rezone Lots 51, 1007 and 1118 Boyup Brook – Arthur Road, Boyup Brook (the 'site') from 'Rural' to 'Special Use (SU2)'.

In order to progress subdivision and development of the site, in a manner that reflects the strategic direction of the draft *Shire of Boyup Brook Local Planning Strategy*, it is proposed to rezone the site to 'Special Use'.

The purpose of this report, supporting technical reports and associated plans are to explain the proposal and set out the planning merits of the Amendment which is consistent with the planning framework including the draft *Shire of Boyup Brook Local Planning Strategy*.

The Amendment is supported by a Local Structure Plan and associated Local Structure Plan report.

The site's suitability for residential and rural residential development includes that it essentially adjoins the Boyup Brook townsite and the technical investigations reveal the site is capable of accommodating residential and rural residential development. More detailed planning and investigations will occur at

the subdivision application, development application and building permit stages.

The site offers the potential to provide a significant supply of residential and rural residential lots in the short to medium term which are consistent with the Shire's Strategic Community Plan.



Photo 1: central location

2. BACKGROUND

2.1 Cadastral details

A copy of the Certificates of Title are provided in Attachment 1.

Cadastral details for the site are summarised below in Table 1.

Lot	Diagram	Volume	Folio	Area	Owner
51	62150	2727	332	110.2788 hectares	Leaffield Pty Ltd
1007	103924	2618	816	107.4556 hectares	Leaffield Pty Ltd
1118	103925	1194	20	4.0481 hectares	Leaffield Pty Ltd

The site has a total area of 221.78 hectares.

2.2 Regional context

The site is located in the Shire of Boyup Brook and adjoins the Boyup Brook townsite. Boyup Brook is located approximately 260 kilometres south of Perth and 100 kilometres south-east of Bunbury. Boyup Brook is a district centre in the Warren-Blackwood Region. The town provides a range of services and facilities to residents and visitors.

2.3 Local context

The site's location is set out in Attachment 2 while Attachment 3 shows the Amendment site.

As outlined above, the site comprises three separate land parcels being Lots 51, 1007 and 1118 Boyup Brook – Arthur Road, Boyup Brook.

The western boundary of the site is around 1.5km north-east of the Boyup Brook townsite. Nearby uses include rural living development, the Country Music Festival site (including tourist accommodation), public uses and rural uses. Attachment 4 outlines the Context, Opportunities and Constraints Plan. This also shows that most of the site is unconstrained for development.

The site borders the Blackwood River which adds to the site's attractiveness.

2.4 Physical characteristics

The site is outlined in Attachments 3 and 4 and has the following characteristics and features:

- It is an attractive site bounded by Bode Street to the west, Boyup Brook – Arthur Road to the north, the Blackwood River to the east and south, rural land to the north-east and rural zoned land used for rural living purposes to the south-west. As outlined on the Existing Scheme Map, a Structure Plan Area is identified opposite the site on the southern side of the Blackwood River;
- It is used for rural (grazing) purposes;
- It contains several dams;
- It is predominantly cleared with small pockets of native vegetation, which have been parkland cleared;
- The site contains a range of slopes. It is overall moderately sloping. Elevation varies across the site from approximately 185 metres AHD at the lowest point near the Blackwood River, to approximately 262 metres AHD in a central part of the site. There are some smaller steeper sections as outlined in Attachment 4;
- There are seasonal watercourses and some drainage lines;
- It has extensive frontage to the Blackwood River;
- Lot 51 contains a dwelling and several outbuildings;
- The soils are overall conducive for on-site sewage disposal as evidenced by Attachment 5;
- There are various soil types which generally relate to the associated vegetation. Details are in Attachment 5; and
- It is not on the Department of Water and Environmental Regulation's Contaminated Site Database.

The site attributes are considered overall favourable to generous sized residential and rural residential development. More

detailed investigations will occur at future planning and design stages.

Overall, the site has considerable opportunities and manageable constraints to accommodate residential and rural residential development in the range of 2000m² to around 1 hectare.

2.5 Existing services

2.5.1 Overview

The site is currently provided with relevant services appropriate for rural land. Infrastructure is required to be extended, provided or as required upgraded to facilitate residential and rural residential development.

2.5.2 Roads

The site adjoins the sealed Bode Street and Boyup Brook – Arthur Road (which are Shire managed roads) and also has access to an unconstructed road reserve near the southern boundary.

2.5.3 Drainage

The site contains three seasonal watercourses along with minor drainage lines. The site drains to the Blackwood River which is located to the east and south of the site. There is no nearby Shire piped drainage systems.

2.5.4 Water supply

The site is not connected to Boyup Brook's reticulated water system operated by Water Corporation. The site is currently located outside of Water Corporation's planned water supply area given the current 'Rural' zoning.

2.5.5 Wastewater disposal

The site is not connected to the reticulated sewerage system. The site contains a dwelling, which is serviced by on-site wastewater disposal.

2.5.6 Power and telecommunications

Power and telephone services are currently available to the site.

2.6 Heritage

The Department of Planning, Lands and Heritage's database reveals there is a Registered Aboriginal Heritage Site (ID 20434) applying to the property. The Registered Aboriginal Heritage Site has mythological significance associated with the Blackwood River and tributaries. Preliminary contact has been made with the South-West Aboriginal Land and Sea Council and the Department of Planning, Lands and Heritage's Aboriginal Heritage team to ensure Aboriginal heritage values are respected, are appropriately addressed and to understand how to respectfully develop the property. Additionally, land developers have an obligation under the *Aboriginal Heritage Act 1972* and the *Aboriginal Cultural Heritage Act 2021*, to protect places and objects in Western Australia that are important to Aboriginal people because of the connections to their culture.

The proposed Scheme provisions for SU2 set out the need to prepare an ethnographic and archaeological survey (by a qualified consultant) at the subdivision stage.

The site does not contain any structure or place of non-indigenous heritage significance on the Shire of Boyup Brook Municipal Inventory (heritage survey) or on the Shire's Heritage List.

2.7 Landowners details

The Director of Leaffield Pty Ltd is Mr Mark Bombara who owns the site. Mark has lived on the site for many years dividing his week between Boyup Brook and Perth.

Mr Bombara has an established track-record of delivering development in regional communities including inland county towns where development risks are considerably greater than developments 'on-the-coast'. This includes at the Highland Bridgetown Estate in Bridgetown, at Greenland Pemberton and other developments in Donnybrook and Manjimup.

In a time when developers are not always looking to make a long-term investment, Boyup Brook has an opportunity to progress and work with a developer who has shown a commitment to Boyup Brook over many years. Significantly, Mr Bombara has the will, experience and financial capacity to develop the site if relevant approvals are obtained.



Photo 2: extensive views

3. PLANNING FRAMEWORK

3.1 Overview

The site and proposed residential and rural residential subdivision/development are subject to a range of State Planning Policies, WAPC publications and bulletins, WAPC regional strategies, along with Environmental Protection Authority (EPA) bulletins, various Shire strategies and policies, along with the *Shire of Boyup Brook Local Planning Scheme No. 2 (LPS2)*.

The following section will outline how the proposed Amendment suitably addresses relevant planning policies, strategies, plans and LPS2. These documents consider key planning, environmental, servicing and economic development matters. In summary, the Amendment is consistent with the State, regional and local planning framework which support residential and rural residential subdivision in areas which are in close proximity to towns and where land suitability and capability are appropriately addressed.

3.2 State planning framework

3.2.1 Overview

The following strategies and policies are of relevance to the Amendment:

- *State Planning Strategy 2050* - sets a broad strategic plan for Western Australia built on sustained growth and prosperity. The Strategy highlights the importance of job creation and supports developing strong and resilient regions. The Strategy also supports a diverse, liveable, connected and collaborative State;
- *State Planning Policy 1 State Planning Framework Policy*;
- *State Planning Policy 2 Environment and Natural Resources*;
- *State Planning Policy 2.5 Rural Planning*;
- *State Planning Policy No. 2.9 Water Resources* - a Local Water Management Strategy is set out in Attachment 5;
- *State Planning Policy No. 3 Urban Growth and Settlement*;

- *State Planning Policy 3.7 Planning in Bushfire Prone Areas* – the site is partly classified as a Bushfire Prone Area as shown at <https://maps.slip.wa.gov.au/landgate/bushfireprone/>. A Bushfire Management Plan is set out in Attachment 6. This assessment addresses SPP 3.7 and the *Guidelines for Planning in Bushfire Prone Areas*;
- *State Planning Policy 5.4 Road and Rail Noise* – the site is not within the 'trigger distance';
- *State Planning Policy 7.3 Residential Design Codes – Volume 1*;
- *Operational Policy 1.1 Subdivision of Land – General Principles*;
- *Development Control Policy 2.2 Residential Subdivision* – residential lots are required to be capable of development, be located within an area which is suitable for subdivision in terms of its physical characteristics and be provided with an appropriate vehicle movement network;
- *Development Control Policy 2.6 Road Planning*;
- *Liveable Neighbourhoods*;
- *Government Sewerage Policy*; and
- EPA Guidance Statements including *Guidance Statement 33 – Environmental Guidance for Planning and Development* and *Guidance Statement 3 – Separation Distances between Industrial and Sensitive Land Uses*.

3.2.2 State Planning Strategy 2050

The *State Planning Strategy 2050* sets a broad strategic plan for Western Australia built on sustained growth and prosperity. The vision (page 20) is:

'Sustained growth and prosperity

The vision of sustained growth and prosperity envisages a future where Western Australians enjoy high standards of living, improved public health and an excellent quality of life for present and future generations.'

Sustained growth (page 20) consists of:

- 'A diverse state; offering a diversity of ecosystems, landscapes, enterprises, people and cultures.'
- 'A liveable state; the place of choice for the brightest and best.'
- 'A connected state; as connected to the rest of the world as any other place.'
- 'A collaborative state; enabling alignments that progress the State's sustained growth and prosperity.'

The Strategy (page 20) seeks the following:

'By 2050, Western Australia will have a diverse range of interconnected and vibrant local communities and regional centres. The people in these communities will be healthy, resilient, active, prosperous, respectful of cultural difference and participate in the public domain.

Standards of living will continue to be amongst the highest in the world. Improved connections and smarter technologies will enhance the State's ability to attract global and domestic investment capital where and when it is most needed.

A 'can do' attitude will prevail, inspiring new ways of thinking and working, which will deliver optimal outcomes for the economy and communities of Western Australia.'

The Strategy establishes objective and the strategic approach in relation to economic development, physical infrastructure, social infrastructure, environment and security. The Strategy is the lead strategic planning document within Government which informs all other State, regional and local planning strategies, policies and approvals.

The Amendment is consistent with the Strategy. This includes that it supports sustained growth and economic development in Boyup Brook, it promotes development adjoining the townsite and it promotes liveability.

3.2.3 State Planning Policy 1 – State Planning Framework Policy

The State Planning Framework Policy (Variation No. 2) applies to all land within Western Australia. It is an amalgamation of all planning policies, strategies and guidelines that provide direction on the form and methods of growth and development throughout the State. It identifies that the primary aim of planning is to provide for the sustainable use and development of land. The Amendment and the associated Structure Plan have taken consideration of SPPP1.

3.2.4 State Planning Policy 2 – Environment and Natural Resources Policy

The Policy defines the principles and considerations that represent good and responsible planning, in terms of environment and natural resource issues, within the framework of the State Planning Strategy. The Policy is supplemented by more detailed planning policies on particular natural resources matters that require additional information and guidance. Noting the site is largely cleared and remaining native vegetation is sought to be conserved, Attachment 5 considers and addresses matters arising from SPP2.

3.2.5 State Planning Policy No. 2.9 Water Resources

The Policy provides guidance in the planning, protection and management of surface and groundwater catchments, including implementation of total water cycle management principles in the land use planning system.

Attachment 5 sets out the broad approach to managing stormwater for the site. The Local Water Management Strategy adopts water sensitive urban design which is consistent with the Policy. Further details will be addressed at the subdivision stage through preparation and implementation of an Urban Water Management Plan.

3.2.6 State Planning Policy No. 3 – Urban Growth and Settlement

This Policy sets out the principles and considerations which apply for urban growth and settlement in Western Australia. In summary, the policy objectives are to:

- Promote a sustainable settlement pattern including providing sufficient and suitable land for a wide variety of housing;
- Build on existing communities with established services and infrastructure and to promote local economies;
- Address environmental, heritage and community considerations;
- Promote accessibility, housing choice and an identifiable sense of place; and
- Ensure appropriate servicing which is provided in an efficient manner.

The Policy sets out requirements for sustainable communities. This includes using land efficiently, convenient access to employment, retail and community facilities, quality design, addressing environmental considerations and supporting a positive planning framework which seeks to facilitate and promote quality development.

The consolidation and expansion of existing settlements is preferred to the development of new settlements. The Amendment is consistent with the Policy given the site is close to the Boyup Brook townsite, a wide variety of housing lot sizes are proposed and it will be appropriately serviced.

3.2.7 State Planning Policy No. 7.3 Residential Design Codes (Volume 1)

A range of lot sizes will be created to address site conditions with the smallest lot size being 2000m² (Residential R5 which has a 30 metre frontage) to approximately 2 hectares. Future subdivision will be guided by the Local Structure Plan. Future residential development will be guided by the R Codes including setbacks, site planning and design, and car parking. Rural residential development will be guided by LPS2.

3.2.8 State Planning Policy 3.7 Planning in Bushfire Prone Areas

Portions of the site are classified as bushfire prone. Accordingly, *State Planning Policy 3.7 Planning in Bushfire Prone Areas (SPP 3.7)* relates to a portion of the site. SPP3.7 is complemented by *Guidelines for Planning in Bushfire Prone Areas*.

A Bushfire Management Plan is set out in Attachment 6 to address SPP 3.7 and the Guidelines.

3.2.9 Development Control Policy 1.1 Subdivision of Land – General Principles

This Policy sets out the general principles used by the WAPC in determining subdivision applications. It indicates the WAPC's key requirements for the creation of new lots. Policy objectives include to:

- Ensure that the subdivision of land is consistent with *State Planning Policy No. 1 State Planning Framework* and relevant WAPC policies and plans;
- Ensure the subdivision pattern is responsive to the characteristics of the site and the local planning context;
- Ensure that the subdivision is consistent with orderly and proper planning and the character of the area; and
- Facilitate development which achieves appropriate community standards of health, safety and amenity.

The Amendment is consistent with Policy objectives.

3.2.10 Liveable Neighbourhoods

Liveable Neighbourhoods is an operational policy of the WAPC, which implements *State Planning Strategy* objectives, to guide sustainable urban development. The principal aim of *Liveable Neighbourhoods* is to provide for walkable neighbourhoods which are located around activity centres of compatible mixed uses in order to reduce car dependence and foster a strong local identity.

Liveable Neighbourhoods provides guidance on a number of design elements including the movement

network, lot layout, public parkland, urban water management and utility planning. The objectives of community design are a balance between urban and environmental outcomes.

The Amendment and associated Local Structure Plan have regard to relevant elements of *Liveable Neighbourhoods* noting that *Liveable Neighbourhoods* has generally been applied to the Perth Metropolitan region and large regional centres. The Local Structure Plan has considered the movement network, range of housing types and lot sizes, lot layout, provision of environmental conservation/public parkland, and effectively managing stormwater. These details will be refined at the subdivision stage.

Proposed residential development on the site is located 1.5 kilometres from the Boyup Brook townsite. No activity centres are proposed for the Amendment site. Instead, proposed development is intended to support the existing town centre and other services/facilities in Boyup Brook.

The site adjoins the Blackwood River and it contains seasonal watercourses. Accordingly, there are environmental and recreational assets in close proximity (walking distance) of proposed lots. The Amendment will promote walkable communities and cycling.

3.2.11 Planning for Bush Fire Protection Guidelines

The document forms the foundation for fire risk management planning on private land in Western Australia. As set out in Attachment 6, proposed residential and rural residential development can address management issues including development location, vehicular access, water, siting of development, and design of development.

The site is located in an area of predominantly moderate bushfire hazard level on cleared land. There are two small areas within the site which have an extreme bushfire hazard level. Bushfire

levels can be suitably addressed to enable suitable development in these areas.

At this stage, a subdivision design is not finalised. BAL contour mapping will be prepared at the subdivision stage to demonstrate compliance with the Guidelines including each lot having sufficient areas of BAL-29 or below.

Further details relating to fire management are set out in section 5.6 and Attachment 6.

3.2.12 Visual Landscape Planning in Western Australia Manual

This document was released by the WAPC and the former Department for Planning and Infrastructure in November 2007. Amongst matters, it provides principles and guidelines for the location, siting and design of buildings, structures and new planting. Page 3 states 'The aim should be to accommodate change while maintaining and, where possible, enhancing the quality of our landscapes.'

It is appreciated that portions of the site can in part be viewed from Bode Street/Boyup Brook-Arthur Road. The Local Structure Plan and this Amendment consider landscape impacts including in section 5.7.

3.2.13 EPA Guidance Statements

The EPA has prepared a series of Guidance Statements. These statements address specific issues, and sometimes set preferred limits for various activities. The statements provide assistance to proponents of development and other decision-making authorities on the expectations of the EPA. Of particular note to the Amendment are *Guidance Statement 33 – Environmental Guidance for Planning and Development* and *Guidance Statement 3 – Separation Distances between Industrial and Sensitive Land Uses* (2005). Guidance Statement 3 is further considered in section 5.5.2.

3.2.14 Government Sewerage Policy

The *Government Sewerage Policy* establishes the Western Australian

Government's position on the provision of sewerage services in the State through the planning and development of land.

Noting the proposed large lot sizes and the site conditions, the wastewater management assessment from Bio Diverse Solutions (Attachment 5) addresses the *Government Sewerage Policy* for this stage of the planning process. This sets out the property is suitable for on-site disposal based on the report recommendations including on siting.

3.3 Regional planning framework

3.3.1 South-West Regional Planning and Infrastructure Framework

The Framework supports a diverse and adaptive economy and supporting population growth. The Framework identifies Boyup Brook as a 'town'.

The Framework's vision is expressed through objectives and an agreed strategic direction for economic growth, population and sustainable settlements, transport, community infrastructure, essential services, natural assets, and culture, heritage and visual landscape. There is also a list of regional planning initiatives, a list of committed projects, a list of anticipated directions for regional infrastructure, and a framework map.

The Framework highlights there are opportunities for in-migration from retirees and tree-changers. The Framework promotes development in or near existing communities. Accordingly, the Amendment is consistent with the Framework.

3.3.2 Warren-Blackwood Regional Planning Strategy

Boyup Brook is identified as a 'district centre'. The site is located in Planning Unit BR3 – Tweed and parts of BR3 are suitable for townsite and rural residential development.

3.3.3 Warren-Blackwood Rural Strategy

The Strategy provides in-principle support for rural residential development (page 53) and rural smallholdings development

(page 55) within 5km of an urban area. The site is located within Planning Unit BR3 Tweed. The site is broadly outlined for non-rural use on Map 9.

3.3.4 South West Regional Blueprint

The Blueprint establishes priorities for economic development and growth of the South West region and provides an analysis of local, regional, national and global factors influencing the region. A strategic economic growth plan and proposed transformational projects are set out. The Blueprint supports growing the region's population, promoting a vibrant economy and growing the economy. The Amendment is consistent with the Blueprint.

3.4 Local planning framework

3.4.1 Draft Shire of Boyup Brook Local Planning Strategy

The draft *Shire of Boyup Brook Local Planning Strategy* includes the site in a Planning Area as 'Residential & Rural Residential' (see Attachment 7). The draft Strategy also summarises planning considerations and issues/opportunities for the site.

The draft Strategy recognises that the Boyup Brook townsite will not be provided with infill sewerage. The lack of infill sewerage is expected to result in only modest growth prospects for the existing townsite. Most of the proposed growth will occur on greenfield land close to the townsite (including on the Amendment site).

The Strategy notes that people are moving to the region and taking up residence on the fringes of the Boyup Brook townsite, on rural lifestyle properties.

The Strategy notes that Boyup Brook needs more lots in the vicinity of around 2000m² – 5000m². The Strategy supports a diversity of lot sizes including 4000m² – 5000m².

The inclusion of the site as a Planning Area recognises that subject to suitable technical investigations, the site is broadly suitable and capable for development. The site:

- Is cleared and has low environmental impacts and will deliver high economic and community outcomes;
- Will comply with *State Planning Policy 3.7 Planning in Bushfire Prone Areas* and the *Guidelines for Planning in Bushfire Prone Areas*. This includes access routes in different directions;
- Adjoins a sealed road which enhances viability compared to an unsealed road;
- Is an attractive and marketable property, including that it adjoins the Blackwood River and has a range of views/aspects; and
- Is owned by a landowner who has the will, experience and financial capacity to develop the site.

The Amendment site provides a realistic opportunity to grow and complement the Boyup Brook townsite with lot sizes and pricing that are appropriate for a country town and for market expectations.

Without landowners/developers willing to 'play the long game', committing to investing in Boyup Brook over the long-term and having experience in delivering larger scale subdivisions, it is expected that lot creation and associated population growth (if any) will be low. Practically, there are considerable risks, high upfront costs and a delay in generating a profit in undertaking land development in Boyup Brook.

3.4.2 Shire of Boyup Brook Local Planning Scheme No. 2

The site is zoned 'Rural' in the *Shire of Boyup Brook Local Planning Scheme No. 2* (LPS2). The 'Rural' zone is intended for primarily agricultural pursuits with permitted uses within the Zoning Table including extensive and intensive agriculture. The existing Rural zoning is not applicable to the use and development of the site as envisaged by the draft Local Planning Strategy.

The current LPS2 zonings and reservations relating to the site and adjoining land are shown on the Existing Scheme Map. Surrounding land is zoned 'Rural' and 'Rural Residential' while land to the south

and east is reserved as 'Public Open Space'. A Structure Plan Area is located on the opposite side of the Blackwood River.

Boyup Brook – Arthur Road and Bode Street are reserved as a 'Regional Distributor Road'.

The aims of the Scheme are outlined in clause 9. This includes to 'provide for reasonable expansion of residential, industrial and commercial uses based on the District's established structure'.

Other sections of LPS2 relevant to the Amendment include:

- Clause 16 - zone objectives;
- Table 3 – Zoning Table; and
- Clause 21 and Table 5 – Special Use zones.

Given the above, the Amendment is consistent with LPS2 aims, objectives and future development can achieve required standards. The Amendment will assist to create an appropriate interface zoning between the townsite and existing Rural Residential zoned land and agricultural uses. The site is appropriately located for residential and rural residential development and it will address the aims and objectives of LPS2.

The proposed Special Use zoning can accommodate envisaged uses including low-key employment and tourism accommodation uses.

3.4.3 Shire of Boyup Brook Local Rural Strategy (2010)

It is understood that the only WAPC endorsed planning document, specifically relating to the Shire of Boyup Brook, is the *Shire of Boyup Brook Local Rural Strategy (2010)*. The Local Rural Strategy identifies Lots 51, 1007 and 1118 as 'potential townsite expansion'. Similarly, the draft *Shire of Boyup Brook Townsite Strategy (2014)* identifies the land as 'Townsite Expansion Area'.

3.4.4 Local Planning Policies

The Council has endorsed a number of planning policies and various policies are of relevance to the future subdivision and development of the site including drain and fill, naming new roads and fire. The Structure Plan and Amendment have taken into account relevant Local Planning Policies.

3.4.5 Shire of Boyup Brook Strategic Community Plan 2021-2031

The Plan recognises the importance of population growth, maintaining and upgrading facilities and infrastructure, increasing new housing, supporting economic development and creating new jobs.

The Strategic Community Plan sets the community's vision for the future and is the principal strategic guide for the Council's future planning and activities. The vision for Boyup Brook is:

'Growing our community together. Our Shire will be:

A place for people, with a sense of community, one that is active, vibrant, engaged and connected.

A place with community and visitor facilities that are well maintained and further developed as required.

A place that is safe and secure. An inclusive place that nurtures local youth and aging population and retains local health and medical services.

A place that grows housing and employment opportunities through economic development based on our local comparative advantage.'

The Amendment is consistent with the vision and objectives of the Strategic Community Plan. Key implications for the Amendment include promoting new investment and new housing, protecting natural resources, supporting economic development and the appropriate provision of infrastructure.

3.5 Planning framework implications for Amendment

Common themes of the policies, strategies, plans and LPS2 and their implications for the Amendment include:

- Expansion of the Boyup Brook townsite has been anticipated and supported in the draft Local Planning Strategy;
- Boyup Brook will remain the Shire's key centre and a focus for employment and population growth;
- Promoting residential and rural residential development in appropriate locations;
- Ensuring that key environmental assets are conserved or enhanced;
- Addressing key environmental assets and bush fire risk;
- Addressing land use compatibility;
- Consolidation of existing settlements, including Boyup Brook, is preferable to isolated 'stand-alone' developments;
- Support for a variety of housing and promoting liveability;
- Appropriate servicing including addressing stormwater management;
- Addressing landscape impact;
- Supporting local communities and local economies;
- The need for structure planning and adopting relevant principles of *Liveable Neighbourhoods*; and
- A requirement for sustainable and quality design.

Based on the above, the Amendment and associated Structure Plan are consistent with the planning framework. In particular, the Amendment promotes a sustainable settlement pattern as it builds onto a district centre, environmental assets will be conserved and the subdivision will be appropriately serviced.

4. AMENDMENT PROPOSAL

4.1 Overview

The intent of the Amendment is to provide for a range of residential and rural residential lot sizes which complement the Boyup Brook townsite. The purpose of the Amendment is to:

- Facilitate new lots and dwellings in Boyup Brook;
- Provide for the orderly and proper planning of the site in terms of land use, servicing and design; and
- Address the planning requirements set out in LPS2 and in the planning framework.

The Amendment is supported by a Local Structure Plan. The Local Structure Plan (Attachment 8) provides a framework for the site to be subdivided and developed. Future subdivision and development is required to be in accordance with the Local Structure Plan.

4.2 Proposed scheme amendment

The Amendment proposes to rezone the site from the 'Rural' zone to the 'Special Use (SU2)' zone. The Amendment will facilitate subdivision/development between 2000m² and approximately 2 hectares. To control and guide subdivision and development, various planning provisions are proposed to apply to Special Use (SU2). To address site opportunities and constraints, development will be setback from the Blackwood River and seasonal watercourses.

4.3 Local Structure Plan

In support of the Amendment, a Local Structure Plan is provided in Attachment 8 which provides a framework for future subdivision and development. Separate documentation is provided with the Local Structure Plan. The Local Structure Plan has considered the site's context, including adjoining and nearby land uses, bushfire management, servicing,

environmental assets and landscape considerations.

The development of the site requires some degree of flexibility relating to design details. Factors that may alter the design include servicing requirements and market demand.

The Local Structure Plan has been informed by technical investigations which includes servicing, environmental, bushfire, and land management considerations.

The Local Structure Plan assesses the future subdivision/development of the land having considered its physical form and relationship with its context and physical attributes. The Local Structure Plan will provide a framework to develop the site for residential and rural residential land use which is consistent with the Shire's strategic planning vision.

The Local Structure Plan allocates land for housing (residential and rural residential), public open space and infrastructure. The predominant land use is residential followed by rural residential. The Local Structure Plan will set proposed land uses, densities and the estimated lot/dwelling yield. The Local Structure Plan supports a variety of lot sizes, budgets and lifestyles.

The proposed land uses are complementary with adjoining and nearby uses. More detailed planning and investigations will occur at the subdivision, development application and building permit stages.

The Local Structure Plan addresses key development considerations for the site and outlines:

- Residential and rural residential lots ranging between 2000m² – 2 hectares;
- A highly connective design with linkages to the surrounding properties and roads;
- Roads which are aligned to avoid native vegetation wherever possible. The road reserves are indicatively 20

metres wide and will incorporate stormwater pipes or swales for managing stormwater;

- Buildings can be located on cleared land which are setback from Boyup Brook-Arthur Road, the Blackwood River and the seasonal watercourses/drainage lines;
- Building exclusion areas to address matters such as land use compatibility, flood risk, and setbacks for on-site sewage disposal from the Blackwood River and seasonal watercourses;
- Future dwellings and buildings are to be located outside of the building exclusion areas along with addressing setback standards in LPS2;
- Provide for approximately 360 lots with any new lot to be least 2000m² in area. It is expected that a range of lot sizes will be provided based on market requirements and feasibility considerations; and
- Future dwellings can achieve BAL-29 or below.

The preparation and approval of a Local Structure Plan is a separate statutory process to the rezoning of the site. The Regulations outline the requirements and procedure for the preparation and approval of Structure Plans. The Local Structure Plan will be subject to community and stakeholder consultation.

4.4 Rational for Local Structure Plan Design

The Local Structure Plan (Attachment 8) responds to the site's context, opportunities and constraints, appropriate linkages to surrounding properties (Attachment 4) and the planning framework. It provides the framework for the Concept Subdivision Plan (Attachment 9). In particular, key planning and design considerations include:

- Taking account of site characteristics soil types and overall gentle to moderate gradients;
- Technical studies (Attachments 5, 6, 10 and 11);

- Considering key environmental assets and conserving the majority of the site's native vegetation;
- Taking account of *State Planning Policy 3.7: Planning in Bushfire Prone Areas*, the *Guidelines for Planning in Bushfire Prone Areas* and the Bushfire Management Plan including the provision of multiple access routes;
- Considering seasonal drainage lines and stormwater management. The road pattern is integrated with stormwater management;
- Larger lots on the boundaries of the site to address land use compatibility between off-site uses including the resource recovery facility to the north-west and with agricultural uses to the north and east along with the provision of smaller lots internally;
- Providing a range of lot sizes to enhance attractiveness to the market and to promote feasibility;
- Proposing no direct vehicle access between lots and Bode Street/Boyup Brook – Arthur Road;
- Appropriate access to Bode Street/Boyup Brook-Arthur Road to satisfy Shire requirements and provide suitable sight distances;
- Proposing an interconnected network of streets which facilitate safe, efficient and pleasant walking, cycling and driving;
- Road linkages to adjoining land;
- Only proposing through roads (there are no cul-de-sacs) and there are no battleaxe access legs (further detail in Attachment 9);
- Ensuring there are suitable areas, on each proposed lot, to locate a dwelling and outbuilding and also to appropriately dispose of sewage;
- Responding to the site's landform with no need for retaining walls on property boundaries; and
- Seeking to create regularly shaped lots with generous frontages, that generally orientate north-south or east-west to promote opportunities for passive solar building design.

The Local Structure Plan will adopt principles including connectivity, walkability, affordability and quality of life.

The Local Structure Plan will integrate with surrounding uses and development. Future design should seek to promote the site's 'sense of place' and create a built form that is site responsive. To promote a sense of place, the following is proposed:

- Street trees – likely to be suitable exotics that address Boyup Brook's climate, enhance amenity, and minimise increased bushfire risks;
- Entry statements onto new roads intersecting Bode Street/Boyup Brook – Arthur Road;
- Signage to meet Shire requirements; and
- Restrictive covenants.

The Local Structure Plan will provide for a range of lot sizes including those not currently available in Boyup Brook. The lot sizes will reflect Boyup Brook's non-metropolitan lifestyle. The aim is to provide choice, to create an estate with its own identity and to enhance liveability in Boyup Brook.

4.5 Concept Subdivision Plan

Complementing the Local Structure Plan is a Concept Subdivision Plan (Attachment 9) which shows 360 lots. This plan was requested by the Shire given WAPC Structure Plan Guidelines do not show new lot boundaries on Structure Plans.

It is highlighted the Concept Subdivision Plan is indicative only, has no planning 'weight' and will be refined at the subdivision stage.

4.6 Future servicing and more detailed planning

Future lots and development will be appropriately serviced for low density residential and rural residential development in accordance with Shire, WAPC and other government agency requirements. This includes for on-site sewage disposal, stormwater management, underground power and telecommunication services. Further details are outlined in Attachment 10 and later sections of this report, with more

detailed planning to occur at the subdivision, development application and building permit stages.

The future subdivision and development will consist of:

- Sealed roads;
- Reticulated scheme water;
- On-site sewage disposal;
- Enhanced stormwater management;
- Underground power;
- Telecommunication services;
- Upgraded fire management measures including fire hydrants;
- New and upgraded fencing; and
- Appropriate replanting.

Most lots will require no fill. There may be a need for modest fill, on some lots, to address the findings in the Wastewater Management assessment and in future Site and Soil Evaluations.

The Shire is continuing to work with the State Government regarding securing State Government investment to upgrade the scheme water supply in Boyup Brook. This includes to service planned development in the townsite along with servicing the Amendment site.

Securing additional sufficient scheme water and storage capacity for the Boyup Brook townsite, in a timely manner, is strategically important to the Shire, the local community and to the landowner. This will assist to support planned growth and development in Boyup Brook. Some of the benefits include:

- Supporting new development and housing. This includes making a significant contribution to providing lots and housing for Talison Lithium;
- Supporting the local and regional economy to complement the State Government's Just Transition Fund;
- Facilitating population growth, job creation and economic development along with assisting to create a more sustainable local economy and sustaining local facilities and services; and

- Assisting to 'rebrand' Boyup Brook through providing a different product including a range of lot sizes, lifestyle opportunities, affordability and housing choices to suit a wide range of people. This includes lot sizes not currently available in Boyup Brook.

Further details are outlined in later sections of this report.

4.7 Scheme provisions

The proposed residential and rural residential subdivision/development and land use will be controlled by existing and proposed LPS2 provisions plus provisions in the Local Structure Plan. The proposed scheme provisions will address subdivision, development and land use, servicing requirements, bushfire management and purchaser notification.



Photo 3: view of Blackwood River and future public open space

5. PLANNING CONSIDERATIONS AND PLANNING JUSTIFICATION

5.1 Overview

This section brings together an assessment of the site's attributes and the planning framework in considering key planning considerations and justifying the requested zoning for Lots 51, 1007 and 1118 Boyup Brook – Arthur Road, Boyup Brook from 'Rural' to 'Special Use (SU2)' zone.

5.2 Planning suitability for residential and rural residential development

The Local Structure Plan proposes predominantly Residential R5 (minimum lot size of 2000m²) plus rural residential lots, along with public open space land uses consistent with those proposed by the draft Local Planning Strategy.

As previously outlined, the Indicative Subdivision Concept Plan shows additional details and illustrates that approximately 360 residential and rural residential lots could be established on the site, with a minimum lot size of 2000m². There is additional land set aside for foreshore reserve and public open space/community purposes.

Lots adjoining Boyup Brook – Arthur Road and Bode Street will have a landscape buffer that will maintain the 'low key' rural feel for the area.

The site is suitable to be rezoned to Special Use (SU2) to facilitate residential and rural residential subdivision/development. The reasons include:

- It is consistent with the planning framework. Various planning policies and strategies support residential and rural residential subdivision adjoining or close proximity to existing towns. The site adjoins the Boyup Brook townsite and accordingly is near the town's associated educational, medical, community, recreational and retail services;

- It promotes and delivers on new investment and population growth which is consistent with the vision of the draft Local Planning Strategy and the Council's Strategic Community Plan;
- It will integrate with and complement the Boyup Brook townsite;
- The site provides a realistic opportunity to grow and complement the Boyup Brook townsite with lot sizes and pricing that are appropriate for a country town and market expectations;
- The site provides a suitable interface between the Boyup Brook townsite and rural residential development and agricultural areas;
- Development will be compatible with adjoining and surrounding land uses;
- Appropriate buffers can be provided to adjoining and nearby uses;
- Most the site has been previously cleared. Remaining environmental assets, focused on riparian vegetation and water resources, can be appropriately conserved;
- There are opportunities for revegetation/environmental repair;
- The technical investigations confirm subdivision/development will address on-site sewage disposal requirements and bushfire risks;
- It is overall moderately sloping land, with suitable soil types for development;
- It will be appropriately serviced in accordance with local government and State Government guidelines;
- Traffic impacts will be manageable, and traffic can readily be accommodated on Bode Street/Boyup Brook – Arthur Road as outlined in the Traffic Management Assessment;
- There is no direct access between lots and Bode Street/Boyup Brook – Arthur Road;
- The site is not located in a public drinking water source area;
- Bushfire management measures will comply with the objectives of *State Planning Policy 3.7 Planning in Bushfire Prone Areas* and the *Guidelines for Planning in Bushfire Prone Areas*. This

includes access routes in different directions;

- There will be manageable landscape impacts, when associated with the preparation and implementation of a landscape plan. The site's attributes, along with landscaping and design guidelines will create a unique 'sense of place';
- It assists to provide a variety of housing and lifestyle choices near Boyup Brook;
- It is near the town centre and there are opportunities for enhanced walking and cycling connections including along the Blackwood River and Ritson Street;
- There will be enhanced public access to the Blackwood River;
- The proposal will complement Boyup Brook increasing its overall viability, vitality and prosperity, increasing the economic viability of existing services and adding to the range of services that can be provided;
- Approval and implementation will assist to support the viability and sustainability of local services, facilities and businesses;
- It assists to 'rebrand' Boyup Brook through providing a different product including a range of lot sizes, lifestyle opportunities, affordability and housing choices to suit a wide range of people. This includes lot sizes not currently available in Boyup Brook;
- It provides families, empty nesters, first homebuyers and others wishing to relocate to Boyup Brook with greater spaciousness and lifestyle options;
- The site is attractively located on the Blackwood River and there are a range of views which will be attractive to the market;
- It provides community benefits including, if required by the Shire, ceding land adjoining the Blackwood River free-of-cost to the Crown. Securing public land adjacent to the Blackwood River offers conservation, recreation and accessibility opportunities to the community; and
- It will provide a new standard of subdivision in Boyup Brook.

Further details relating to the site's suitability for the residential and rural residential uses are outlined in this section and summarised in Table 2.

5.3 Range of lot sizes

It is acknowledged that the Local Planning Strategy identifies the site as a Planning Area 'Residential & Rural Residential'. Accordingly, the Local Structure Plan and the Concept Subdivision Plan propose lot sizes between 2000m² – 2 hectares. The reasons for the range of lots include:

- The requirement to provide reticulated water and address associated feasibility;
- To provide a range of lifestyle opportunities to meet anticipated market demand;
- Boyup Brook does not have many lots in the range of 2000m² to 1 hectare. These lots are generally favoured by the market for reasons including space for growing families, they are more manageable than lot sizes between 1 – 2 hectares and they are expected to be provided in a country town;
- It more efficiently uses land adjoining the Boyup Brook town site; and
- It follows technical investigations which reveal the need for different lot sizes over the site to address opportunities and constraints.

5.4 Consistency with planning framework

As outlined in Section 3 of this report, the Amendment is consistent with the State, regional and local planning framework. For instance:

- The Amendment will support implementing a sustainable use of the land consistent with the objectives of the *State Planning Policy 3: Urban Growth* and the draft Local Planning Strategy in terms of accommodating additional residential and rural residential development near an established district centre;
- The Amendment will facilitate development that meets the vision

outlined in the draft Local Planning Strategy.

The subdivision/development will conserve local environmental assets and character whilst providing increased opportunities for new residents to experience a tree-change lifestyle;

- The site is identified as a Planning Area 'Residential & Rural Residential' in the draft Local Planning Strategy. The intent of the Amendment is to implement the recommendations of the draft Local Planning Strategy by rezoning the site to 'Special Use (SU2)' under LPS2;
- The creation of residential and rural residential lots will facilitate increased population in close proximity to existing services and facilities provided in the Boyup Brook townsite. These include retail/commercial, services and health, education and recreational facilities. The additional population will assist in supporting and increasing the provision of such services and facilities in the district; and
- Key matters such as bushfire risks, stormwater management, traffic impact and on-site sewerage disposal are addressed in the technical investigations.

From a spatial perspective, the rezoning of the site will provide a logical extension to providing additional residential and rural residential lots near the Boyup Brook townsite without causing adverse amenity impacts to the locality. Attachment 4 shows the Context, Opportunities and Constraints Plan. The proposed Special Use (SU2) zone provides an appropriate transition use between the Boyup Brook townsite and rural residential areas and agricultural operations.

Development of the site will significantly assist to address the need for additional residential and rural residential land in Boyup Brook.

5.5 Compatibility with adjoining and nearby land uses

5.5.1 Overview

A key planning requirement is separating potentially conflicting land uses. The Amendment and supporting Local Structure Plan have considered the site's context, including adjoining and nearby land uses, and considered the compatibility of future subdivision/development.

The proposed residential and rural residential uses are compatible with adjoining and nearby land uses/development as outlined in Attachment 4. The reasons include:

- There is rural residential land to the south-west;
- It is consistent with community/public uses to the west including the cemetery and the resource recovery facility. If required, a notification on the title can be included on lots within the resource recovery facility buffer;
- Large lots and an appropriate buffer are provided to the farming land to the north and north-east;
- The draft Local Planning Strategy recognises the existing and proposed co-existence of multiple land uses nearby including residential, rural residential, industry and agriculture;
- Proposed revegetation will be undertaken adjoining the Bode Street/Boyup Brook - Arthur Road boundary including to the resource recovery facility. This will assist in conserving local amenity.

Environmental Protection Authority Guidance Statement No. 3 provides recommendations on separation distances for industrial and sensitive land uses.

5.5.2 Resource recovery facility

The Local Structure Plan provides appropriate buffers between proposed future dwellings and the resource recovery facility.

The Shire's resource recovery facility is located on Reserve 15706 (No. 184 Bode Street). An appropriate separation distance will be provided between the resource recovery facility and new dwellings (sensitive uses) on the site. The EPA's Separation Distances between Industrial and Sensitive Land Uses (2005) outlines the buffer distance is determined 'case by case'. The Local Structure Plan shows a buffer of 200 metres with future dwellings to be appropriately setback which is achieved via rural residential lots and appropriately locating a building envelope. This is also shown on the Concept Subdivision Plan (Attachment 9). Planting on the site, near the resource recovery facility, will complement the native vegetation in the Unallocated Crown Land and assist to screen and lower impacts from the facility.

It is expected there will be a notification placed on the titles for lots within the resource recovery facility buffer.

5.5.3 Buffers to agricultural operations

It is recognised that there can be issues at the interface between agricultural and residential/rural residential development, including spraying, the use of machinery, or that farmers can be required to adopt different practices. While noting this, the Amendment and associated Local Structure Plan can minimise possible or perceived impacts of agricultural operations through appropriate buffers. This in part includes the provision of generous sized Rural Residential lots adjoining Bode Street/Boyup Brook – Arthur Road and to the north-east. The vegetated Bode Street/Boyup Brook – Arthur Road reserve will be complemented with proposed replanting to assist in screening and assisting to minimise potential impacts.

In order to ensure that appropriate setbacks to nearby agricultural land is undertaken, lots fronting Boyup Brook - Arthur Road will be at least 1 hectare in area. Dwellings are expected to be set back to agricultural land by approximately 100 metres - from the north

side of Boyup Brook - Arthur Road to future dwellings.

Accordingly, future dwellings will not impact existing agricultural operations including for properties to the north of Boyup Brook – Arthur Road. This is complemented with proposed revegetation (indicatively 5m width) along with a vegetated road reserve to the north. There will also be a suitable buffer to off-site agricultural areas (grazing/cropping) through larger lots to the north-east and south-west.

It is proposed that notifications are placed on the titles which alert prospective purchasers that there are nearby farming operations.

While noting the above, farming operations also have a requirement to contain impacts on their own land and follow established best practice.

5.6 Bushfire management

A portion of the site is designated by the Fire and Emergency Services Commissioner as a 'Bushfire Prone Area' at <https://maps.slip.wa.gov.au/landgate/bushfireprone/>. To address *State Planning Policy 3.7 Planning in Bushfire Prone Areas* and the *Guidelines for Planning in Bushfire Prone Areas*, Smith Consulting have assessed bushfire risks and have prepared a Bushfire Management Plan (Attachment 6).

As outlined in Attachment 6, the site is overall classified as having a moderate bushfire hazard level given the site is generally cleared, has low fuel levels, is well separated from vegetated areas and has moderate slopes.

Based on the Smith Consulting assessment, the Amendment and Local Structure Plan can meet the 'Acceptable Solutions' of each element of the bushfire mitigation measures as per the *Guidelines for Planning in Bushfire Prone Areas*. Accordingly, based on the Smith Consulting assessment, acceptable protection can be offered to future

residents from bushfire hazards within acceptable limits.

To address the Guidelines, there will be:

- The provision of multiple access routes via the public road network;
- A fire service access route is proposed adjacent to the Blackwood River. The proposed fire service access route will be 6m wide;
- Provision of a reticulated water supply and fire hydrants (for lots below 1 hectare); and
- The establishment of 20m Asset Protection Zones around future dwellings. This can be readily achieved, as part of detailed subdivision design, given the site is largely cleared and fuel levels are generally low;
- Boyup Brook is serviced by fire response units located in the Boyup Brook townsite which are close to the site. It is understood they have heavy duty and fast response vehicles that could readily service the site;
- A permeable road network is proposed with no cul-de-sacs;
- Advising prospective purchasers of bushfire risk, their obligations and relevant publications addressing bush fire safety; and
- For lots within the bushfire prone area, building construction and protection standards pursuant to the Building Code of Australia and if required to Australian Standard 3959-2009 *Construction of Buildings in Bushfire Prone Areas*.

There will be a need to prepare a Bushfire Management Plan to support a subdivision application(s) with associated BAL-Contour mapping. Future development can achieve a BAL rating between BAL – Low to BAL 29.

Additional more detailed bushfire investigations will occur at the subdivision, development and building permit stages.

5.7 Landscape enhancement

The site and area are characterised by a mix of land uses including agricultural, rural residential, tourism and community uses. Agricultural operations are primarily cropping and grazing. There is some native vegetation on the site which includes on rocky outcrops, along the seasonal watercourses and adjoining the Blackwood River.

The site's landscape, when viewed from Bode Street/Boyup Brook-Arthur Road, forms part of the 'gateway' into Boyup Brook. The site presents as an open cropping landscape which is complemented with areas of native vegetation.

The site is partially screened from Bode Street/Boyup Brook-Arthur Road by existing vegetation.

There is a need to retain the 'rural' character of the site adjoining Bode Street/Boyup Brook - Arthur Road.

The site will assist to accommodate a sizeable component of the future growth of Boyup Brook. As such, it is not intended that development be invisible, but development will be sensitively integrated with the landscape. The landscape impact of new development will be mitigated by measures including:

- Retaining existing native vegetation where possible;
- Revegetation will enhance the amenity of the site. Revegetation will be undertaken at the subdivision stage particularly adjoining Bode Street/Boyup Brook-Arthur Road, to provide a vegetated entrance into Boyup Brook;
- It is proposed to undertake planting with a depth of 5m adjoining Bode Street/Boyup Brook-Arthur Road. While details are proposed to be addressed as a subdivision condition, it is expected there will be a mix of trees and shrubs of different heights. The proposed planting, when combined with the existing

vegetation in the road reserves, will effectively filter future development when viewed from Bode Street/Boyup Brook-Arthur Road;

- The Amendment and resulting subdivision/development will have manageable landscape impacts given future lots will be spacious. Rural residential lots adjoining Bode Street/Boyup Brook – Arthur Road will be at least 1 hectare in area. Accordingly, there will be a sensitive interface between future development and Bode Street/Boyup Brook - Arthur Road;
- Future dwellings will have generous setbacks from Bode Street/Boyup Brook - Arthur Road of approximately 80 metres;
- LPS2 provisions will control new development including building materials and outbuildings;
- LPS2 provisions and the Residential Design Codes only permit only one house on each lot. This is considered appropriate in the context of spaciousness and minimising visual impact; and
- There are opportunities to establish restrictive covenants to control building design. This matter is further considered in section 5.13.

There is landowner support for a landscaping theme for the estate along with consideration of long term management of the vegetation.

The landowner supports planting suitable street trees along with planting near Bode Street/Boyup Brook-Arthur Road. At this early stage of the planning/design process, the preference is London Plane trees given they have lower bushfire risks than native trees. It is proposed to enhance the site through street trees in road reserves to enhance the area's amenity which is done in a way that does not impact BAL ratings. There will also be replanting on future lots.

It is considered that the above measures adequately serve to maintain the desired landscape character for the site and for Boyup Brook.

5.8 Environmental impact

5.8.1 Overview

Attachment 5 sets out the Local Water Management Strategy which provides high level environmental assessment and wastewater management assessment. Based on this assessment and the resulting design of the Local Structure Plan (Attachment 8), it is expected that the Amendment and associated subdivision/development will have negligible environmental impacts for reasons including:

- The site has been generally cleared. The remaining native vegetation can be conserved through larger lots containing important areas of native vegetation, building exclusion areas and carefully designing roads and locating development on cleared land;
- Most native vegetation is degraded due to past stocking. While noting this, there are opportunities for appropriate revegetation/landscaping on portions of the site including the seasonal watercourses, additional planting adjoining Bode Street and Boyup Brook-Arthur Road, in road reserves and planting undertaken by landowners;
- Key environmental assets, including water resources, can be suitably addressed through appropriate servicing, design and management;
- The site is not within a public drinking water source area;
- Groundwater is well below the natural ground level for most of the site (Attachment 5);
- Detailed design, at the subdivision and development stages, will address road design, lot layout and orientation, on-site stormwater management and ensure there is minimal disturbance of the topography;
- The site is not within the trigger distance area of SPP 5.4 Road and Rail Noise;
- There will be appropriate setbacks between future development areas

and Bode Street/Boyup Brook – Arthur Road to further reduce noise impacts;

- Site conditions are appropriate for on-site sewerage disposal (refer to Attachment 5);
- It will be appropriately serviced including that stormwater will be effectively managed in accordance with the Local Water Management Strategy (Attachment 8);
- The site is not classified as a contaminated site by the Department of Water and Environmental Regulation (DWER);
- There is low acid sulphate soil risk;
- The site adjoins the Boyup Brook townsite reducing the need for motorised transport and providing opportunities for cycling; and
- It will be subject to subdivision and development conditions.

There are no significant impediments to the future subdivision and development of this site as evidenced by the supporting technical investigations. Accordingly, it is suggested that subject to addressing subdivision and development conditions, future subdivision/development should result in minimal on-site or off-site environmental impacts.

5.8.2 Flora and fauna

The majority of the site has been cleared and used for cropping. Remaining native vegetation is focused in a few smaller sections of the site. It is proposed to incorporate these areas into public open space or larger lots.

It is proposed to limit clearing of native vegetation where possible and practical.

5.8.3 Flood risks

A small portion of the site, near the Blackwood River, is subject to flood risk. While there is no available flood mapping, a precautionary approach has been adopted based on DWER advice.

At the subdivision stage, the detailed design will provide either building envelopes or building exclusion areas. This will ensure that all lots have a suitably sized building envelope located outside of the

1 in 100 ARI floodplain. This is reflected in the provision of public open space and generous residential lots near the Blackwood River. Future buildings are required to be appropriately setback from the Blackwood River and seasonal watercourses. There is also a need for a minimum floor level of 190.5m AHD based on DWER advice.

5.8.4 Hydrology

The site adjoins the Blackwood River. There are three seasonal watercourses on the site which drain into the Blackwood River.

The site is not located within a Public Drinking Water Source Area.

5.8.5 Road noise

State Planning Policy 5.4 Road and Rail Noise (SPP 5.4) does not apply to the site with no part within the 'trigger distance'.

5.9 Land capability/geotechnical

The Local Structure Plan responds to the characteristics of the site and sets out a range of lot sizes and other design elements. In particular, larger lots are provided adjoining the Blackwood River and seasonal watercourses.

Bio Diverse Solutions have undertaken a land capability assessment which is provided in Attachment 5. In summary, the assessment reveals:

- There are three soil types which are all capable to accommodate residential development;
- Bio Diverse Solutions undertook 13 test holes throughout the site to a depth of 2 metres. Only 2 test holes encountered groundwater. Typically, the test holes revealed soils consisting of silty sand over deep sands or over sandy loam/sandy clay loam;
- There was no evidence of acid sulphate soils;
- The site is physically capable of residential subdivision/development. In particular, the site contains soils that are conducive for on-site sewage

disposal, stormwater management and building construction; and

- Bio Diverse Solutions conclude that the site is physically capable of unsewered residential and rural residential subdivision/development.

5.10 Movement Networks

5.10.1 Overview

Proposed roads are required to be designed and constructed to meet Shire requirements. Detailed design will occur at the subdivision stage and will be required to address topography, drainage, erosion and other requirements. In particular, all roads and intersections will be designed and constructed in accordance with the Austroads Design Guidelines to the Shire's satisfaction.

5.10.2 Roads

The Amendment site adjoins the sealed Bode Street and Boyup Brook - Arthur Road.

There is a high level of connectivity between the Amendment site and the Boyup Brook townsite which will ensure convenient vehicular and cycling access.

The Traffic Impact Assessment prepared by Donald Veal Consultants (Attachment 11) sets out that future subdivision to create 360 lots will not introduce any significant traffic or road safety issues.

The existing road network has sufficient capacity to address the additional traffic generation from the proposed subdivision/development. The subdivision/development will have manageable impacts on local roads, including on traffic flow. Additionally, there are appropriate vehicle sight distances at the intersections.

Anticipated traffic volumes from the development will not have a detrimental impact on the role or functioning of the existing road network.

The Structure Plan and associated Concept Subdivision Plan proposes:

- Three subdivision roads connecting with Bode Street/Boyup Brook-Arthur Road plus connections to properties to the south and east;
- Appropriate vehicular sight distances at the intersection of proposed access roads and Bode Street/Boyup Brook – Arthur Road which will facilitate safety for road users;
- No direct vehicular access between future lots and Bode Street/Boyup Brook-Arthur Road;
- Convenient vehicular access which will meet safety and amenity objectives;
- No cul-de-sacs; and
- Road reserves will be a width of 20 metres.

The Local Structure Plan and associated Concept Subdivision Plan outline a connected and legible system which is responsive to landform. It will spread the traffic load across a number of routes. As part of detailed design, the road alignment will seek to reflect site conditions and topography and aims to minimise road construction costs by considering drainage and earthworks. It is expected that the design will incorporate measures to create an appropriate speed environment throughout the development. This may in part include some round-a-bouts, median islands, change of road construction materials and the use of street trees.

The internal road network will be designed to meet the *Liveable Neighbourhoods* standards.

The alignment and orientation of roads will cater for stormwater management requirements as well as seeking to create where possible, lots orientated north-south or east-west to maximise solar access.

As outlined in the Traffic Impact Assessment, the intersection of Bode Street/Access Road 1 is unlikely to require auxiliary right turn lane treatment (when turning right from Bode Street into Access Road 1) as subdivision/development proceeds.

At the subdivision stage, crossovers to be suitably located and designed.

5.10.3 Walking and cycling

The site's location and attributes provide opportunities for cycling and walking.

Walking and cycling will be promoted through the provision of low-speed roads to encourage convenient and safe pedestrian and cycling movement.

It is intended to provide opportunities for informal walking/cycling within generous sized road reserves (20 metres wide) with overall low traffic volumes. There will be opportunities for looped walking/cycling circuits.

At the subdivision stage, a dual use path may be constructed by the developer along Road 1 (west of Road 2) as set out in the Traffic Impact Assessment.

A pedestrian/cyclist link is proposed, in-time, to be established between the site and the Boyup Brook townsite, via the trail to Skeleton Bridge with a connection to the site. There will also be a path near the Blackwood River adjoining the Amendment site. The link will be appropriately aligned to minimise clearing. It will be a valuable recreation resource for residents and visitors.

5.10.4 Connectivity to adjoining land

As outlined in earlier sections, the Local Structure Plan and Concept Subdivision Plan provide a high degree of connectivity to adjoining land. The Local Structure Plan proposes various road connections to the east and south. These measures provide appropriate connectivity between future development on the site and surrounding areas.

5.11 Development setbacks and building exclusion areas

Most lots will rely on Scheme setbacks.

At the subdivision stage, it is expected there will be a need to set building envelopes for rural residential lots and

establish building exclusion areas for lots containing flood impacted land. Additionally, wastewater exclusion areas may be required for lots to address setbacks from the Blackwood River and seasonal watercourses.

Building envelopes are generally not sought to be established unless practically justified to account for sewage disposal, visual buffering and associated requirements.

In most instances building setbacks will specifically relate to the *Residential Design Codes* for the R5 code, however where the physical site characteristics dictate Building Exclusion Areas will be established.

The key development setbacks are shown on the Local Structure Plan, in particular setbacks for lots near the resource recovery facility, near the Blackwood River and adjoining seasonal watercourses.

5.12 Services

5.12.1 Overview

The Servicing Report by Peter Eastlake Consulting Engineer is outlined in Attachment 10.

The site is capable of being serviced by all necessary utilities required for subdivision/development. Other than reticulated water, it is understood that capacity allowances have been made to provide services to the locality. There is a need for more detailed investigations and design to ensure there is capacity of these services for the subdivision/development. The capacity of infrastructure to service future subdivision will need to be determined prior to the issue of titles.

As outlined in section 4.6, the key service constraint for the Boyup Brook townsite and for the Amendment site is reticulated water.

Future subdivision will be appropriately serviced in accordance with Shire, WAPC and other government agency requirements. Future subdivision will

require the extension and upgrading of essential civil infrastructure such as reticulated water and power.

Given the moderate slopes and generous lot sizes, it is expected that retaining walls on property boundaries can be avoided. There may be minor filling and retaining associated with the house and shed pads or in some instances, the land application area for on-site wastewater disposal. Houses should be suitably raised above the natural ground level.

5.12.2 Stormwater management

The site is located at the top of the catchment and it contains parts of separate smaller sub-catchments.

A Local Water Management Strategy (LWMS), see Attachment 5, has been prepared by Bio Diverse Solutions to support the Amendment and associated Local Structure Plan. The LWMS sets out:

- Groundwater and surface water considerations can be suitably addressed;
- Stormwater from future subdivision/development is required to be effectively managed and appropriately implemented. The details will be progressed through addressing subdivision conditions;
- The proposed lots are generous in size can accommodate stormwater drainage detention on-site;
- Future dwellings and sheds will require drainage to be contained on-site for relevant rainfall events. This is expected to occur through a combination of soakwells and rainwater tanks;
- Each lot is provided with a stormwater connection;
- It is proposed that there will be piped drainage in the road reserves which will be detained in basins; and
- To accommodate major events, the roads will be designed to safely convey runoff from large storm events (up to 1% AEP).

The LWMS outlines that stormwater can be appropriately managed to achieve the

water quality objectives outlined in *State Planning Policy 2.9 Water Resources* and associated guidelines *Better Urban Water Management*. In particular, there is a need to adopt a water sensitive design that seeks to retain, treat and use water, to minimise runoff and to promote at source infiltration.

Stormwater is required to be effectively designed, constructed and managed to the satisfaction of the Shire and DWER to meet publications such as *State Planning Policy 2.9 Water Resources*, *Better Urban Water Management* and *Stormwater Management Manual for Western Australia*. This will require a water sensitive design that seeks to detain, slow down and treat peak flows that especially addresses 'first flush' run off treatment. This includes that post development hydrology is required to be designed to be as close as possible to the pre-development hydrology.

The LWMS has informed the Local Structure Plan and the Concept Subdivision Plan, including proposed lot sizes.

Noting the proposed generous lot sizes, future subdivision/development will create manageable stormwater implications. There is also the opportunity to revegetate where appropriate.

Based on Attachment 5, it is suggested that stormwater can be effectively managed on the site. For instance, there are opportunities for infiltration on the site. Additional runoff generated by the development will be detained within the site and managed through the use of rainwater tanks, soak wells, vegetated swales and detention basins.

In addition to reticulated water supplies, onsite rainwater capture and storage is encouraged as a sustainability measure and will assist in stormwater attenuation.

A key matter for the detailed civil design stage is treating and controlling runoff from roads.

The LWMS identifies that an Urban Water Management Plan (UWMP) is required as a condition of subdivision approval. The UWMP will need to address relevant matters to support detailed design. The UWMP:

- Is required to ensure that peak discharge from the subdivision/development does not exceed the pre-development levels;
- Will outline management arrangements to improve water quality leaving the site, as a result of the proposed development and the associated drainage strategy, compared to the current situation;
- Address the extent of localised flooding on the site and ensure that no development is located in flood impacted areas;
- Give appropriate consideration for 'wet' sections of the site and their future use and management and should development be proposed in these areas, this will need to appropriately address land capability and suitability, provide engineering designs/certification;
- Give careful consideration to the retention and future management of existing dams and unless required as part of an approved drainage system for on-site detention;
- Ensure that any dams not required for drainage purposes should be privately owned and managed with responsibilities known to all stakeholders 'up-front'; and
- Ensure that any new dams, relocating existing dams and generally altering watercourses will be determined in close association with DWER.

5.12.3 On-site sewage disposal

The *Government Sewerage Policy* outlines the general requirement to connect new subdivision and/or development to, or provide for, reticulated sewerage in accordance with the provisions of 5.1.1. Where provisions 5.1.1 do not apply, such as future subdivision and development proposed on this site, on-site sewage disposal may be considered where the responsible authority is satisfied that:

- Each lot is capable of accommodate on-site sewage disposal without endangering public health or the environment; and
- The minimum site requirements for on-site sewage disposal are met.

The site is remote from the reticulated sewerage network.

Reticulated sewerage is not available, feasible or necessary. Instead, future subdivision/development will be serviced by on-site sewerage disposal. As reflected in the draft *Local Planning Strategy*, connection to reticulated sewerage will not be required.

Given the proposed generous lot sizes, future subdivision/development will be serviced by on-site sewage disposal to comply with the *Government Sewerage Policy*.

Attachment 5 sets out the wastewater management assessment from Bio Diverse Solutions which addresses the *Government Sewerage Policy* for this stage of the planning process. The assessment demonstrates that the proposed residential and rural-residential uses and anticipated lot sizes are capable of accommodating on-site sewage disposal.

Bio Diverse Solutions note that:

- The site is considered to be suitable for receiving wastewater for onsite disposal using conventional wastewater systems for most of the property;
- Future lots will be generous in area which will provide space to accommodate and treat on-site sewage disposal (land application area);
- The site is not within a Public Drinking Water Source Area and is not classified as sewage sensitive;
- The minimum lot size for residential development is one dwelling per 2,000m²;
- There are three seasonal watercourses which traverse the site.

On-site sewage disposal systems within 100m of the seasonal watercourses are required to be secondary treatment systems;

- There is scope for on-site sewage disposal to be located around 50 metres or more from seasonal watercourses and 100 metres or more from the Blackwood River;
- Site conditions have appropriate capability for residential and rural residential subdivision/development; and
- There will be a further need to address on-site sewage and gain relevant approvals at the subdivision, development and building permit stages.

There may be a need to provide modest fill to accommodate a land application area for a small portion of the site. This is in order to ensure suitable clearances between the natural ground level and late winter ground water levels to accommodate on-site sewage disposal.

The Local Structure Plan supports on-site sewage disposal through generous lots sizes and appropriate setbacks from the Blackwood River and seasonal watercourses.

5.12.4 Water supply

Rural residential lots will be serviced with rainwater tanks that are a minimum of 92,000 litres.

Proposed lots below 1 hectare are required to be connected to the reticulated (scheme) water system based on WAPC requirements.

Water Corporation's reticulated water supply network is currently limited to the Boyup Brook townsite. There is a need to extend the network and also construct a high-level water tank to maintain minimum water pressure requirements.

Water Corporation is investigating options to increase water provision to Boyup Brook including to provide sufficient capacity to service the proposed subdivision/development on the

Amendment site. It is expected there will be a need to create an elevated tank on the site.

At the subdivision stage, the developer's consulting engineer will again approach Water Corporation for information about system capacity and constraints and will conduct engineering investigations to determine the viability of water servicing, from both an engineering and cost perspective. The developer's consulting engineer is required to determine if the system pressure and tank elevation is sufficient to supply the proposed subdivision/development. Proposed lots are required to have sufficient pressure to meet Water Corporation's licence conditions and its Customer Charter.

The subdivision will also be serviced by fire hydrants.

In addition to reticulated water, there are opportunities for additional water supply provision such as landowner's installing rainwater tanks which have sustainability and stormwater management benefits.

5.12.5 Power supply and telecommunications

All proposed lots will be serviced with underground power and required telecommunication infrastructure.

Subject to State Government policy and project feasibility, there may be scope for 'green' energy provision and/or battery storage. Alternatively, it is expected that the electrical network will be extended and designed to service future lots. The subdivision will be serviced with underground power. Transformer(s) will be suitably located and will distribute power to the lots by means of low voltage cabling and pillar units (green domes).

It should be noted that due to the dynamic nature of Western Power's network, infrastructure requirements and connection points referred to in the Engineering Servicing Report may differ when applications are placed in the future.

It would be preferable that there is no street lighting but instead to promote 'dark sky' principles.

Based on Attachment 10, it is expected NBN will be provided by fixed wireless.

5.12.6 Gas

Reticulated gas is not available in this locality. If required, it will be provided by bottled gas.

5.13 Restrictive covenants

Restrictive covenants will be required to limit direct vehicular access between lots and Bode Street/Boyup Brook – Arthur Road.

It is expected that the developer will establish restrictive covenants prior to the issue of titles. The restrictive covenants will assist to promote suitable building design to maintain the area's amenity.

5.14 Land supply

There is a shortage of available and serviced residential and rural residential lots in Boyup Brook.

The planning framework supports the on-going growth of Boyup Brook as a district centre. The site forms part of Boyup Brook's 'development footprint' as established by the planning framework including the draft Local Planning Strategy which identifies the site in a Planning Area of 'Residential & Rural Residential'.

The draft Local Planning Strategy sets out a need to provide additional residential and rural residential land in Boyup Brook. The Amendment site will provide an important supply of lots in Boyup Brook. The site provides an opportunity for a wide range of lot sizes and housing choices.

5.15 Foreshore reserve and public open space

A foreshore reserve of approximately 5.2 hectares will be provided along with a centrally located area of public open

space/community purpose site of approximately 2 hectares.

The foreshore will have recreation 'nodes' along with a continuous reserve adjoining the Blackwood River for the site's entire frontage.

The proposed Scheme provisions set out the need for appropriate management of the foreshore. The foreshore reserve will be ceded free of cost by the subdivider.

The subdivider will be responsible for defining, likely through suitable fencing (that does not impede flood waters) the boundary between freehold lots and the foreshore reserve. The Concept Subdivision Plan shows indicative pedestrian accessways to the foreshore.

There is a need to work through matters including weed control, revegetation and restricting vehicular access to the foreshore (other than a Fire Service Access Route and to designated public car parks).

Most proposed lots are within 400 metres of future POS (centrally located or on the foreshore). A range of recreational facilities are nearby in Boyup Brook.

It is noted the generous lot sizes (minimum lot size of 2000m² to 2 hectares) also provide opportunities for on-site recreation.

There will be cycling paths linking the site to the Boyup Brook townsite via Ritson Street and along the former railway line.

The Local Structure Plan provides for convenient cyclist and pedestrian links throughout the site. It is intended to provide opportunities for informal walking/cycling within generous sized road reserves (20 metres wide) with overall low traffic volumes. There will be opportunities for looped walking/cycling circuits.

5.16 Staging

A staged development will occur. The first stage is expected to be the northern

section given this reduces upfront servicing costs due to proximity to services.

The staging will be dependant on a number of factors including pre-sales/demand, feasibility, detailed servicing considerations and ensuring there is two-way vehicular access to address *State Planning Policy 3.7 Planning in Bushfire Prone Areas*.

5.17 Supporting the local economy and community

Approval and implementation of the Amendment will have various economic and community benefits including:

- Supporting local employment through the construction of subdivision works and new dwellings;
- Supporting existing or additional local services and community infrastructure;
- Assisting in a more sustainable local economy;
- Increasing population in Boyup Brook which assists in its overall viability, vitality and prosperity;
- Building onto an existing community with established facilities, services and infrastructure and assist to strengthen and sustain Boyup Brook;
- Providing a greater choice for those wishing to buy lots in Boyup Brook in an attractive locality close to the townsite; and
- Broadening the Shire's economic base to assist with increasing local resilience.

The Amendment is consistent with the planning framework which promotes employment and economic growth in Boyup Brook.



Photo 4: Southern location

5.18 Planning justification

The planning justification for the Amendment is summarised in Table 2. Given the below, the Amendment and associated Local Structure Plan are considered consistent with the planning framework and the principles of orderly and proper planning.

Strategic	Land Use Planning	Environment and Landscape	Transport and Servicing	Economic and Community
<p>The Amendment is consistent with the planning framework.</p> <p>The site adjoins the Boyup Brook townsite which will reinforce Boyup Brook as a district centre.</p> <p>The site is well located for residential and rural residential uses including it is compatible with adjoining and nearby uses.</p> <p>The proposed Special Use zone, between the townsite and rural uses, represents orderly and proper planning.</p> <p>It assists to meet the demand for residential and rural residential development in Boyup Brook in a planned, orderly and sustainable manner.</p> <p>It will provide opportunities for a significant supply of land offering a range of lifestyle choices close to the Boyup Brook townsite.</p> <p>The proposal will provide a new form of lot sizes and lifestyle opportunities in Boyup Brook.</p>	<p>The site is suitable and capable of residential and rural residential uses.</p> <p>Development will be effectively controlled through LPS2 provisions.</p> <p>The Local Structure Plan provides a co-ordinated approach to future subdivision/ development.</p> <p>The site is well located for the proposed land uses.</p> <p>There are appropriate buffers and mitigation measures to the resource recovery facility and to farming operations.</p> <p>Aboriginal heritage constraints are acknowledged and will be reviewed in greater detail at the subdivision stage.</p>	<p>The majority of the site has been previously cleared. Remaining environmental assets, in particular native vegetation, can be appropriately conserved and there are opportunities for environmental repair/replanting.</p> <p>Subject to suitably addressing stormwater management, future development is unlikely to create any adverse environmental impacts.</p> <p>Bushfire management measures will comply with the objectives of SPP 3.7 and the <i>Guidelines for Planning in Bushfire Prone Areas</i>.</p> <p>The site is not located in a public drinking water source area.</p> <p>There are manageable landscape impacts when viewed from Bode Street/ Boyup Brook- Arthur Road and opportunities to enhance the site's appearance including through replanting.</p>	<p>The site has excellent road connectivity and easy access to Boyup Brook and other areas.</p> <p>Traffic impacts can be readily accommodated on Bode Street/Boyup Brook - Arthur Road.</p> <p>Safe vehicular access can be achieved between the site and Bode Street/Boyup Brook - Arthur Road.</p> <p>There is no direct access between lots and Bode Street/Boyup Brook - Arthur Road.</p> <p>The Local Structure Plan facilitates opportunities for cycling and walking.</p> <p>The subdivision/ development will be appropriately serviced.</p> <p>On-site sewage disposal and stormwater management can be appropriately located and designed to the satisfaction of the WAPC, Shire and relevant agencies.</p> <p>The site is suitable and capable for the intended use including achieving realistic building, effluent disposal and stormwater outcomes.</p>	<p>It will promote job creation by supporting the development of Boyup Brook and assist to diversify and grow the local economy. This includes adding to its overall viability, vitality and prosperity and adding to the range of services that can be provided.</p> <p>Approval and implementation of the application will assist to increase population in Boyup Brook and in-turn support economic activity and support local services.</p> <p>The site is close to the Boyup Brook townsite and will complement Boyup Brook and supporting businesses, facilities and services.</p>

6. CONCLUSION

This report confirms that the Amendment is consistent with the planning framework and that the site is both suitable and capable of accommodating residential and rural residential subdivision/development.

The Amendment will facilitate the development of the site into generous sized lots that will complement the Boyup Brook townsite. The preceding sections have examined various planning principles, statutory and policy considerations, environmental and servicing matters regarding the proposed rezoning.

The Amendment will establish the appropriate zoning for the site and future subdivision/development will be guided by the Local Structure Plan. Existing and proposed LPS2 provisions will ensure that subdivision and development will be effectively controlled.

The support of the WAPC and the Hon. Minister for Planning is requested to approve the Amendment to rezone the site from 'Rural' to 'Special Use (SU2)'.



Photo 5: central location

PLANNING AND DEVELOPMENT ACT 2005

SHIRE OF BOYUP BROOK

LOCAL PLANNING SCHEME No. 2

AMENDMENT No. 24

The Shire of Boyup Brook under and by virtue of the powers conferred upon it in that behalf by the *Planning and Development Act 2005* hereby amends the above Local Planning Scheme by:

1. Rezoning Lots 51, 1007 and 1118 Boyup Brook – Arthur Road, Boyup Brook from the 'Rural' zone to the 'Special Use (SU2)' zone.
2. Inserting provisions in Table 5 - Special Use Zones in Scheme Area:

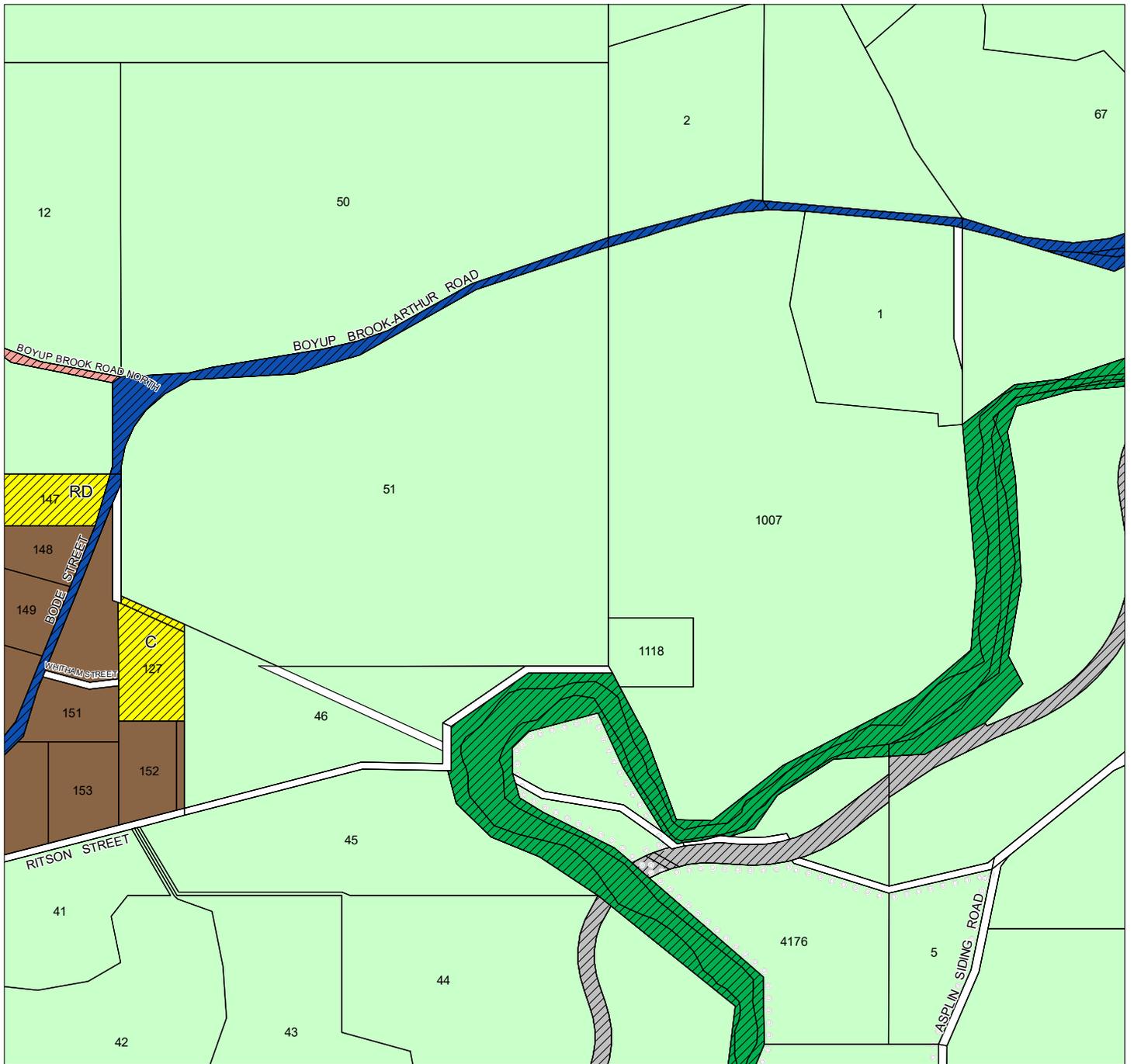
No.	Description of land	Special use	Conditions
SU2	Lots 51, 1007 and 1118 Boyup Brook – Arthur Road, Boyup Brook	<p>A future residential estate, contemplating both residential and rural residential zones, where the mix of lots is to be addressed via a structure plan.</p> <p>Permissibility: Uses permitted within the areas designated as 'Residential' are as per the Zoning Table.</p> <p>Uses permitted within the areas designated as 'Rural Residential' are: Ancillary Dwelling 'P' Art Gallery 'D' Bed & Breakfast 'D' Dams 'D' Community Purpose 'D' Family Day Care 'A' Holiday House 'D' Holiday Accommodation 'A' Home Business 'D' Home Occupation 'P' Home Office 'P' Home Store 'D' Industry – Cottage 'D' Recreation – Private 'A' Repurposed Dwelling 'D' Residential Building 'A' Rural Home Business 'A' Second Hand Dwelling 'D' Single House 'P' Telecommunications Infrastructure 'D' Wayside Stall 'D'</p>	<p>General application</p> <ol style="list-style-type: none"> 1. The conditions in this schedule apply to SU2 in addition to all other relevant provisions in the Scheme. 2. If there is a conflict between any other provision in the Scheme, this Schedule prevails. <p>Structure Plan</p> <ol style="list-style-type: none"> 3. Prior to subdivision and development, a structure plan is to be prepared and endorsed by the WAPC. 4. Proposed future zones and reserves in the structure plan are to accord with the zones and reserves of the Scheme. 5. In addition to the matters required in clause 16 of the deemed provisions, the structure plan is to address: <ol style="list-style-type: none"> a. Servicing arrangements, including <ol style="list-style-type: none"> i. Arrangements for an electricity supply; ii. Provision of a licensed water supply for lots designated for residential purposes; or iii. If a licensed water supply is not to be provided, lots are to be designated as rural residential with a minimum lot size of 1ha; iv. Site and Soil Evaluation to demonstrate a suitable approach to wastewater disposal. v. Drainage and water management as per a Local Water Management Strategy. b. Access and egress for bushfire safety, in accordance with State Policy. c. Foreshore management, including: <ol style="list-style-type: none"> i. Allocation and design of Foreshore reserves and areas of public open space; ii. proposed arrangements for weed control, revegetation, fencing, pedestrian access and restrictions on vehicular access.

No.	Description of land	Special use	Conditions
		All other uses are 'X' prohibited.	<p>d. Traffic Impact Assessment, including potential upgrades to existing roads and intersections servicing the proposed estate.</p> <p>e. A movement network that provides suitable transport options for vehicle, bicycles and pedestrians.</p> <p>Subdivision</p> <p>6. Future subdivision shall generally be in accordance with a Structure Plan endorsed by the WAPC.</p> <p>7. Aboriginal heritage protection as per an ethnographic and archaeological survey by a qualified consultant.</p> <p>8. Based on site conditions, at subdivision stage, the Commission may impose added conditions relating to:</p> <p>(d) Revegetation and landscape planning addressing:</p> <p>i. buffer strip planting adjoining Boyup Brook – Arthur Road and surrounding rural use land.</p> <p>ii. ongoing separation of lots to remaining rural use land within the structure plan area to be staged as applicable.</p> <p>iii. protection of high value native vegetation to maintain rural landscape character.</p> <p>(e) Restrictive covenants for prevention of direct vehicular access between lots and Boyup Brook – Arthur Road.</p> <p>(f) Notifications on Title relating to:</p> <p>i. nuisance impact to residential amenity from adjacent rural operations; or</p> <p>ii. the Shire's resource recovery centre.</p> <p><i>Note: Structure plan areas are to be zoned progressively, as land is subdivided, and when opportunities arise for scheme amendments.</i></p>

9. Amending the Scheme Map accordingly.

Determines Amendment No. 24 is a standard amendment under the provisions of the *Planning and Development (Local Planning Schemes) Regulations 2015* for the following reasons:

- An amendment relating to a zone that is consistent with the objectives in the scheme for that zone;
- The amendment is consistent with the draft Local Planning Strategy;
- The amendment would have minimal impact on land in the scheme area that is not the subject of the amendment; and
- The amendment does not result in any significant environmental, social, economic or governance impacts on land in the scheme area.



EXISTING SCHEME MAP

Legend

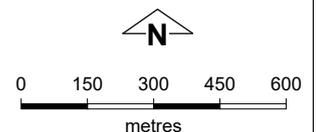
- | | |
|--------------------------|---------------------------------------|
| Cadastre with Lot number | Public purposes |
| LPS Zones | C Public purposes : Cemetery |
| Rural | RD Public purposes : Rubbish disposal |
| Rural residential | Railways |
| LPS Reserves | Regional distributor road |
| Local distributor road | LPS Other Categories |
| Local road | Structure plan area |
| Public open space | |

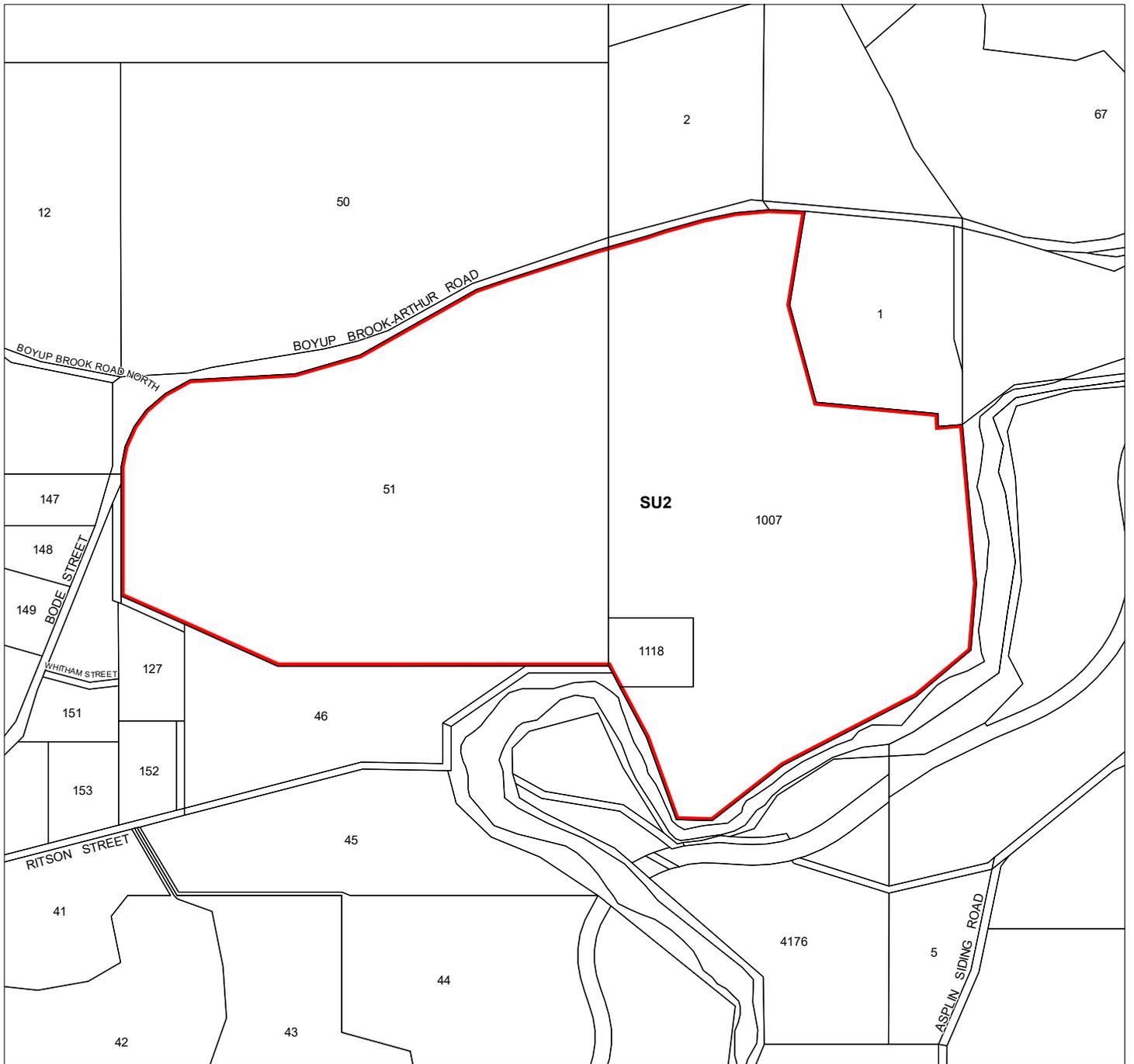


Department of Planning,
Lands and Heritage

Produced by Geospatial Research and Modelling,
Department of Planning, Lands and Heritage, Perth WA
Base Information supplied by Western Australian
Land Information Authority SLIP 1096-2018-1

Shire of Boyup Brook
Town Planning Scheme No. 2
Amendment No. 24





PROPOSED SCHEME AMENDMENT MAP

Legend

 Cadastre with Lot number

LPS Zones and Reserves Amendments

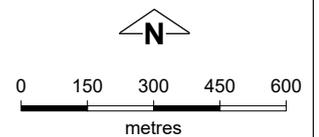
 Special use



Department of Planning,
Lands and Heritage

Produced by Geospatial Research and Modelling,
Department of Planning, Lands and Heritage, Perth WA
Base Information supplied by Western Australian
Land Information Authority SLIP 1096-2018-1

Shire of Boyup Brook
Town Planning Scheme No. 2
Amendment No. 24



COUNCIL ADOPTION FOR ADVERTISING

This Standard Amendment was adopted by resolution of the Council of the Shire of Boyup Brook at the Meeting of the Council held on the day of 2023.

.....
SHIRE PRESIDENT

.....
CHIEF EXECUTIVE OFFICER

COUNCIL RECOMMENDED/SUBMITTED FOR APPROVAL

This Amendment is recommended for approval by resolution of the Shire of Boyup Brook at the Ordinary Meeting of the Council held on the day of 20..... and the Common Seal of the Shire of Boyup Brook was hereunto affixed by the authority of a resolution of the Council in the presence of:

.....
SHIRE PRESIDENT

.....
CHIEF EXECUTIVE OFFICER

WAPC RECOMMENDED/SUBMITTED FOR APPROVAL

.....
DELEGATED UNDER S.16 OF THE
PLANNING AND DEVELOPMENT ACT 2005

DATE.....

APPROVAL GRANTED

.....
MINISTER FOR PLANNING
S.87 OF THE PLANNING AND DEVELOPMENT ACT 2005

DATE.....

ATTACHMENT 1

WESTERN



AUSTRALIA

REGISTER NUMBER 51/DP62150	
DUPLICATE EDITION 1	DATE DUPLICATE ISSUED 18/9/2009

RECORD OF CERTIFICATE OF TITLE
UNDER THE TRANSFER OF LAND ACT 1893

VOLUME 2727 FOLIO 332

The person described in the first schedule is the registered proprietor of an estate in fee simple in the land described below subject to the reservations, conditions and depth limit contained in the original grant (if a grant issued) and to the limitations, interests, encumbrances and notifications shown in the second schedule.

BG Roberts
REGISTRAR OF TITLES



LAND DESCRIPTION:

LOT 51 ON DEPOSITED PLAN 62150

REGISTERED PROPRIETOR:
(FIRST SCHEDULE)

LEAFIELD PTY LTD OF POST OFFICE BOX 799, FREMANTLE

(AF L067594) REGISTERED 8/9/2009

LIMITATIONS, INTERESTS, ENCUMBRANCES AND NOTIFICATIONS:
(SECOND SCHEDULE)

Warning: A current search of the sketch of the land should be obtained where detail of position, dimensions or area of the lot is required.
* Any entries preceded by an asterisk may not appear on the current edition of the duplicate certificate of title.
Lot as described in the land description may be a lot or location.

-----END OF CERTIFICATE OF TITLE-----

STATEMENTS:

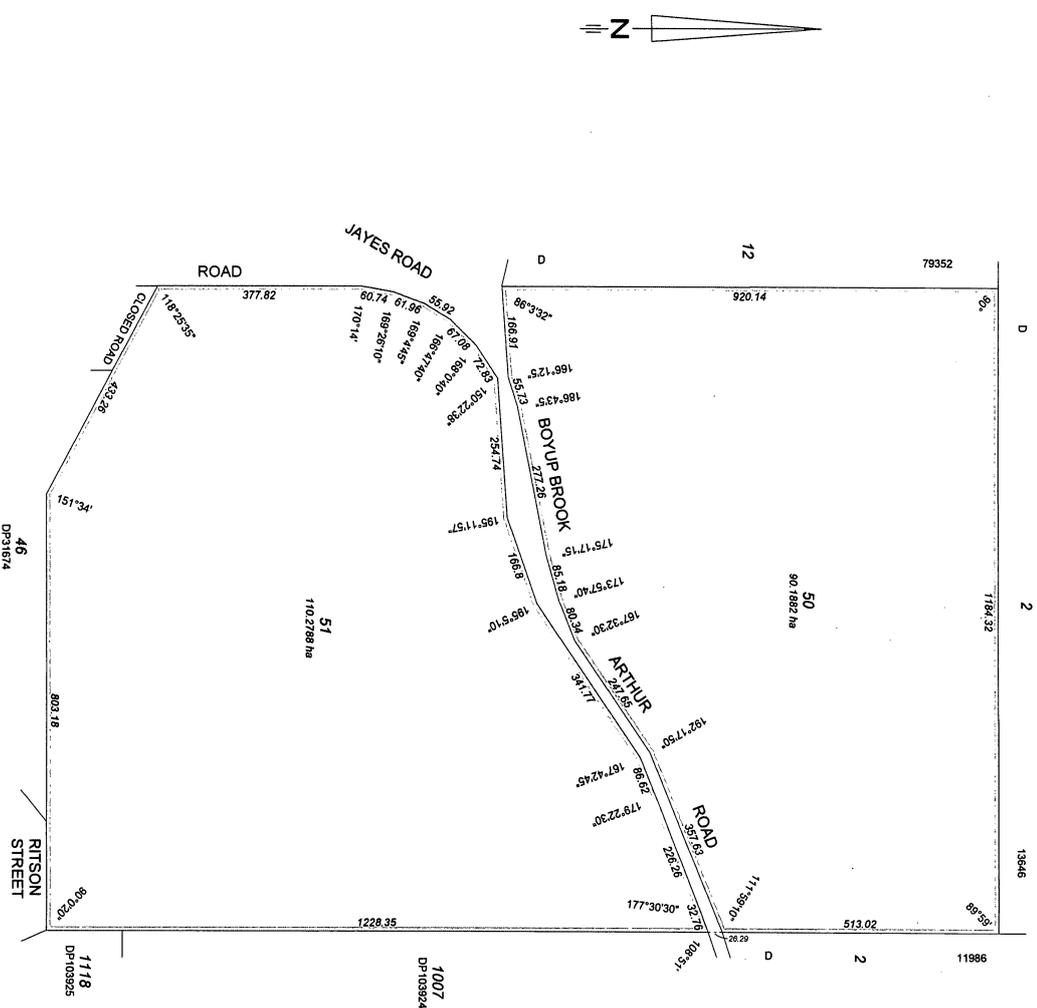
The statements set out below are not intended to be nor should they be relied on as substitutes for inspection of the land and the relevant documents or for local government, legal, surveying or other professional advice.

SKETCH OF LAND: DP62150
PREVIOUS TITLE: 68-144A
PROPERTY STREET ADDRESS: 54 BOYUP BROOK-ARTHUR RD, BOYUP BROOK.
LOCAL GOVERNMENT AUTHORITY: SHIRE OF BOYUP BROOK

DP 62150



COMPILED FROM DP's 103824, 103825, 124044, 130070, 144392, 207577, 215402, 252763, & D's 11986, 13646 & 79352



KEVIN MOIR
LICENSED SURVEYOR
BOX 8 WILGA, WA 6243
TEL - 08981076
FAX - 08981076

VERSION	AMENDMENT	AUTHORISED BY	DATE
TYPE FREEHOLD PURPOSE SUBDIVISION PLAN OF			
DISTRICT NELSON TOWNSITE FILE LOCAL AUTHORITY SHIRE OF BOYUP BROOK LOCALITY BOYUP BROOK			
FORMER TENURE LOT 441 ON DP252763 C/T 88 - 144A		INDEX B129 (10) 1.4 ON FIELD BOOK COMPILED	
SURVEYORS CERTIFICATE - Part 4 I hereby certify that this plan complies with the provisions of the Survey Act 1985 and the Regulations made thereunder. I am a duly qualified and registered surveyor and I have personally examined the original plan and the copies and I am satisfied that the plan is a true and correct representation of the survey. I have also examined the original plan and the copies and I am satisfied that the plan is a true and correct representation of the survey. I have also examined the original plan and the copies and I am satisfied that the plan is a true and correct representation of the survey. I have also examined the original plan and the copies and I am satisfied that the plan is a true and correct representation of the survey.			
APPROVED BY WESTERN AUSTRALIAN PLANNING COMMISSION FILE 131324 REGISTERED INSTRUMENT NUMBER OF THIS PLAN DATE 07/2009			
LOADED DATE 29-Jun-09 FEE PAID \$305.00 AMOUNT \$442285		TYPE OF VALIDATION THE NAME G.M. COMMENT ORDER 1170-2005/19 ORDERED BY DATE F.I.C.	
SUBJECT TO IN ORDER FOR DEBITS APPROVED INSPECTOR OF PLANS SURVEYS DATE AUTHORIZED LAND OFFICER APPROVED INSPECTOR OF PLANS SURVEYS DATE			
DEPOSITED PLAN ORIGINAL SHEET OF VERSION			

WESTERN



AUSTRALIA

REGISTER NUMBER 1007/DP103924	
DUPLICATE EDITION 5	DATE DUPLICATE ISSUED 18/9/2009

RECORD OF CERTIFICATE OF TITLE
 UNDER THE TRANSFER OF LAND ACT 1893

VOLUME **2618** FOLIO **816**

The person described in the first schedule is the registered proprietor of an estate in fee simple in the land described below subject to the reservations, conditions and depth limit contained in the original grant (if a grant issued) and to the limitations, interests, encumbrances and notifications shown in the second schedule.

BGRoberts
 REGISTRAR OF TITLES



LAND DESCRIPTION:

LOT 1007 ON DEPOSITED PLAN 103924

REGISTERED PROPRIETOR:
 (FIRST SCHEDULE)

LEAFIELD PTY LTD OF POST OFFICE BOX 799, FREMANTLE

(AN L067593) REGISTERED 8/9/2009

LIMITATIONS, INTERESTS, ENCUMBRANCES AND NOTIFICATIONS:
 (SECOND SCHEDULE)

1. THE LAND THE SUBJECT OF THIS CERTIFICATE OF TITLE EXCLUDES ALL PORTIONS OF THE LOT DESCRIBED ABOVE EXCEPT THAT PORTION SHOWN IN THE SKETCH OF THE SUPERCEDED PAPER VERSION OF TITLE 1075-905

Warning: A current search of the sketch of the land should be obtained where detail of position, dimensions or area of the lot is required.
 * Any entries preceded by an asterisk may not appear on the current edition of the duplicate certificate of title.
 Lot as described in the land description may be a lot or location.

-----END OF CERTIFICATE OF TITLE-----

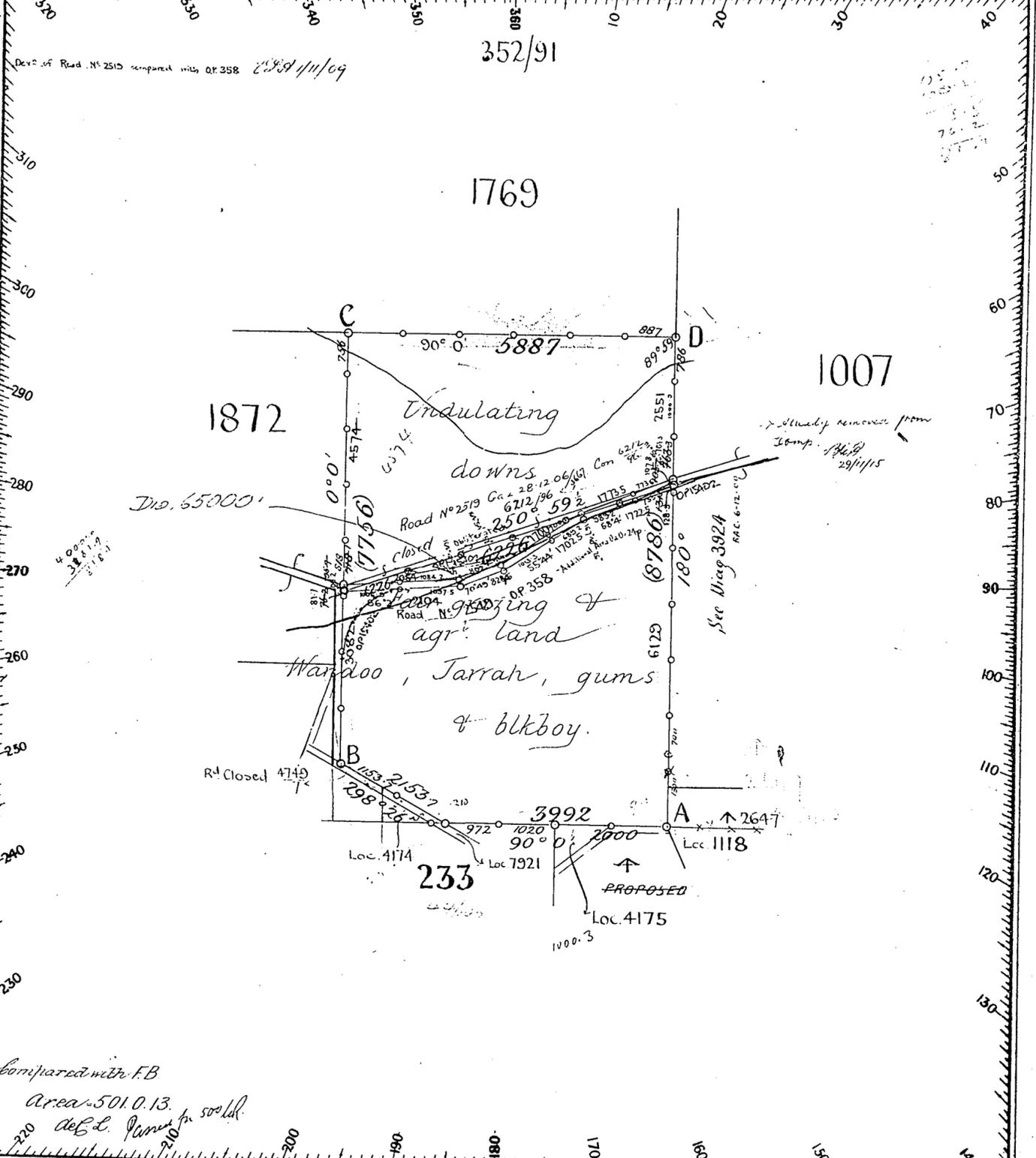
STATEMENTS:

The statements set out below are not intended to be nor should they be relied on as substitutes for inspection of the land and the relevant documents or for local government, legal, surveying or other professional advice.

SKETCH OF LAND: 1075-905 (1007/DP103924)
 PREVIOUS TITLE: 1075-905
 PROPERTY STREET ADDRESS: NO STREET ADDRESS INFORMATION AVAILABLE.
 LOCAL GOVERNMENT AUTHORITY: SHIRE OF BOYUP BROOK

ble Areas.

Class of holding	Name of Grantee or Lessee	N ^o	Acreage	District or County	Original Plan N ^o	Diagram N ^o
LOC.	G. F. Dickson	47	500	Nelson	102	53/30
CP.		495				
		441				



Compared with F.B.
Area 501.0.13.
Ab'l. Plan for 500 lks.

REFERENCE TO CORNERS									
Corner	Bearing	Dist. in Links	N ^o & Mark on Tree	Desc ⁿ of Tree	Corner	Bearing	Dist. in Links	N ^o & Mark on Tree	Desc ⁿ of Tree
A	329°56'	70.5	47/495	B. gm	H				
B	349°5'	34½	—	—	I				
C	135°33'	35.7	—	Tarrah	J				
D	335°0'8"	8	—	—	K				
E					L				
F					M				
G					N				

Azimuth Observed from 233
 Date of Survey Aug 1892
 Field Book N^o 45 Page 5
 Scale 20 Chains to an Inch
 G. R. Lunn
 Surveyor. 31.10.92

Examined & Passed *William Rowley*
 4/2/95 Inspecting Surveyor. On Standard Plan S. 23
 Registered N.P.C. CdM

22-4-95

WESTERN



AUSTRALIA

REGISTER NUMBER 1118/DP103925	
DUPLICATE EDITION 2	DATE DUPLICATE ISSUED 18/9/2009

RECORD OF CERTIFICATE OF TITLE
UNDER THE TRANSFER OF LAND ACT 1893

VOLUME **1194** FOLIO **20**

The person described in the first schedule is the registered proprietor of an estate in fee simple in the land described below subject to the reservations, conditions and depth limit contained in the original grant (if a grant issued) and to the limitations, interests, encumbrances and notifications shown in the second schedule.

BGRoberts
REGISTRAR OF TITLES



LAND DESCRIPTION:

LOT 1118 ON DEPOSITED PLAN 103925

REGISTERED PROPRIETOR:
(FIRST SCHEDULE)

LEAFIELD PTY LTD OF POST OFFICE BOX 799, FREMANTLE

(AN L067593) REGISTERED 8/9/2009

LIMITATIONS, INTERESTS, ENCUMBRANCES AND NOTIFICATIONS:
(SECOND SCHEDULE)

Warning: A current search of the sketch of the land should be obtained where detail of position, dimensions or area of the lot is required.
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Lot as described in the land description may be a lot or location.

-----END OF CERTIFICATE OF TITLE-----

STATEMENTS:

The statements set out below are not intended to be nor should they be relied on as substitutes for inspection of the land and the relevant documents or for local government, legal, surveying or other professional advice.

SKETCH OF LAND: 1194-20 (1118/DP103925)
PREVIOUS TITLE: 238-8
PROPERTY STREET ADDRESS: NO STREET ADDRESS INFORMATION AVAILABLE.
LOCAL GOVERNMENT AUTHORITY: SHIRE OF BOYUP BROOK

NOTE 1: A000001A LAND PARCEL IDENTIFIER OF NELSON LOCATION 1118 (OR THE PART THEREOF) ON SUPERSEDED PAPER CERTIFICATE OF TITLE CHANGED TO LOT 1118 ON DEPOSITED PLAN 103925 ON 02-MAY-02 TO ENABLE ISSUE OF A DIGITAL CERTIFICATE OF TITLE.
NOTE 2: THE ABOVE NOTE MAY NOT BE SHOWN ON THE SUPERSEDED PAPER CERTIFICATE OF TITLE OR ON THE CURRENT EDITION OF DUPLICATE CERTIFICATE OF TITLE.

Calculations for Area of A 2627

No of Pages of Field Book	True Bearing	Distance N.	S.	E.	W.	Multipliers	Double Areas
44	0	700	700			1024.2	
45	40	1024.2		1024.2		2040.4	20 4404
46	141	888		888		1152.4	
47	270	300.1			300.1	132.2	20 4404
48	326.6						34.673
49							20 007.7
50							10 00263

Survey approved as adjusted by
Harry Winston Surveyor General
 Date 21.9.1927

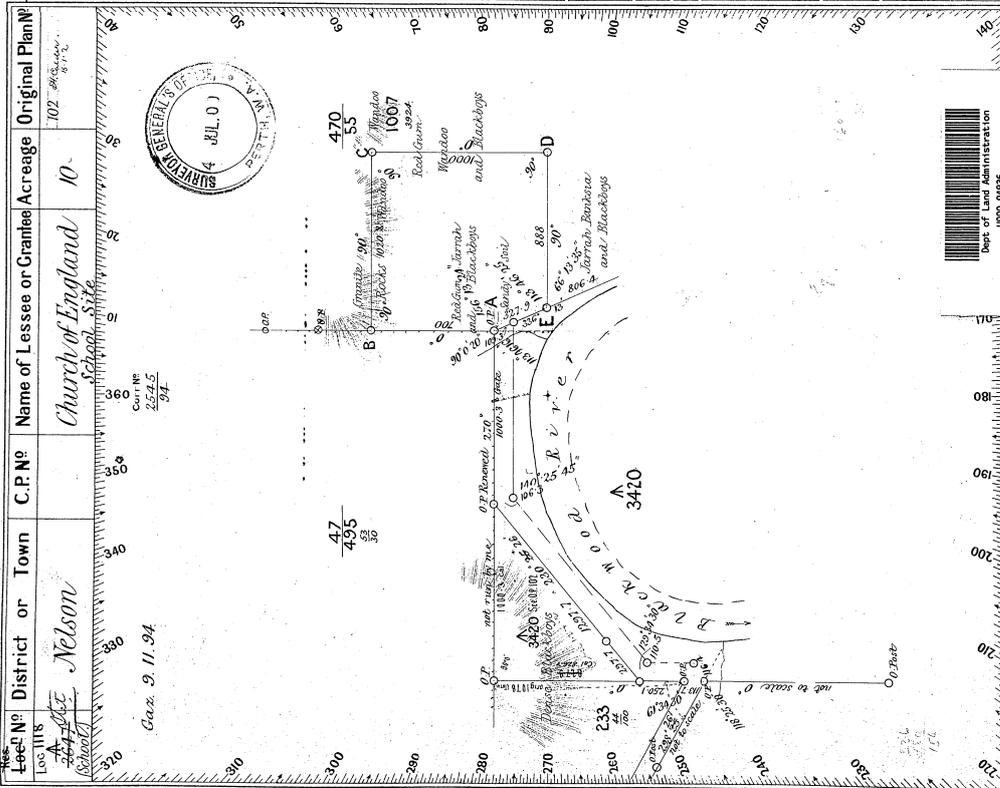
REFERENCE TO TREES FROM CORNERS

Dist. N. S. Mark Links on Tree	Dist. W. S. Mark Links on Tree	Dist. N. S. Mark Links on Tree	Dist. W. S. Mark Links on Tree	Dist. N. S. Mark Links on Tree	Dist. W. S. Mark Links on Tree	Dist. N. S. Mark Links on Tree	Dist. W. S. Mark Links on Tree
A 228.59	70.33	116.6	8627.00	116.6	8627.00	116.6	8627.00
B 63.39	116.6	8627.00	116.6	8627.00	116.6	8627.00	116.6
C 262.25	54.8	116.6	8627.00	116.6	8627.00	116.6	8627.00
D 158.34	80.2	116.6	8627.00	116.6	8627.00	116.6	8627.00
E 217.21	14.5	116.6	8627.00	116.6	8627.00	116.6	8627.00

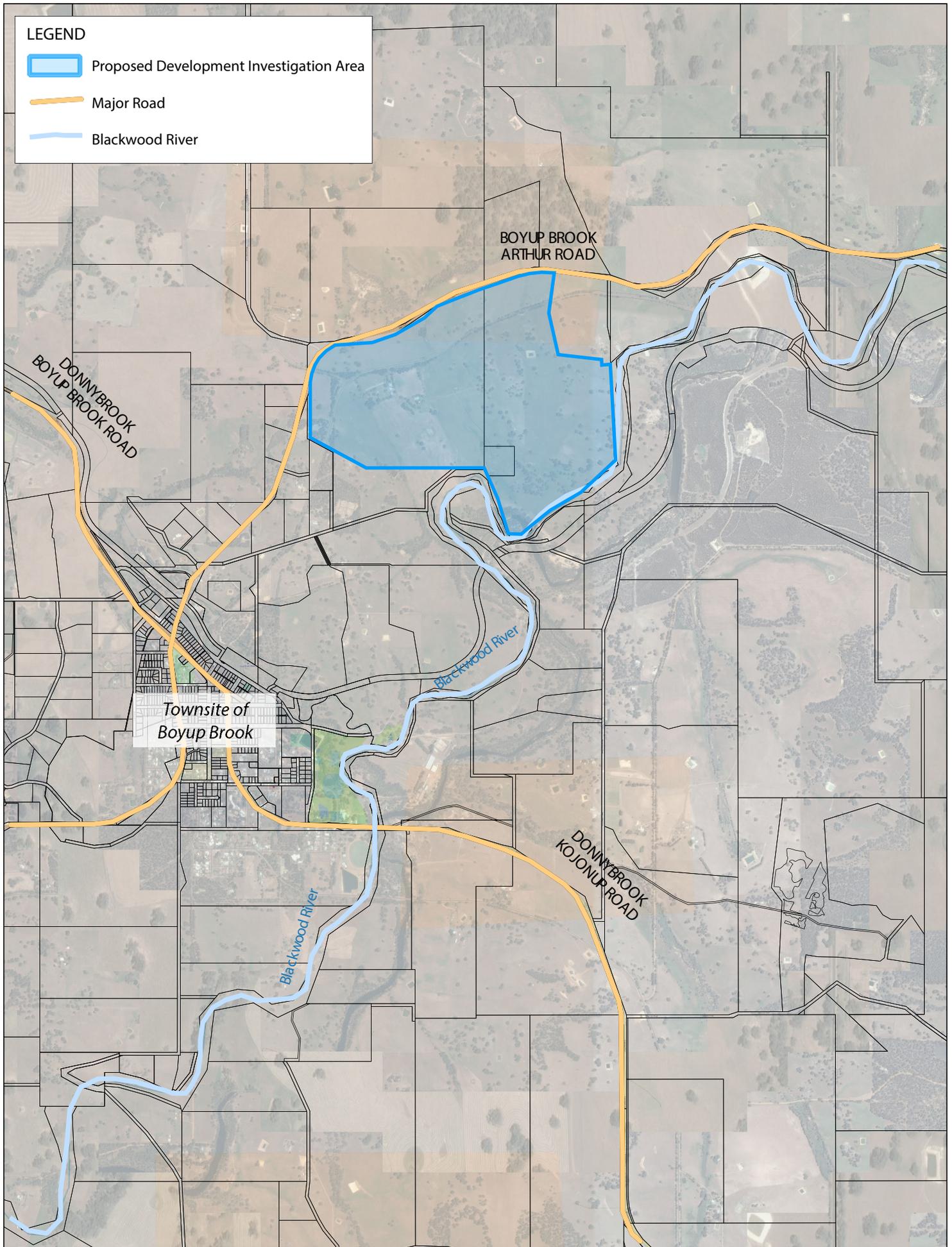
Asimuth observed at
 or assumed from survey of Lot 1007
 Date of Survey 20 June 1900
 Field Book No 11 Pages 13 & 14
 Scale 5 Chains to an Inch

Account passed
 Calculation by No 17 Folio 42
 Compared with F.R. 20th July 1900
 Examined by W. J. 20th July 1900
 Diagram passed Williams, Rowley 20th July 1900

On Standard Plan No 3925
 Registered 20th July 1900
 Diagram No 3925



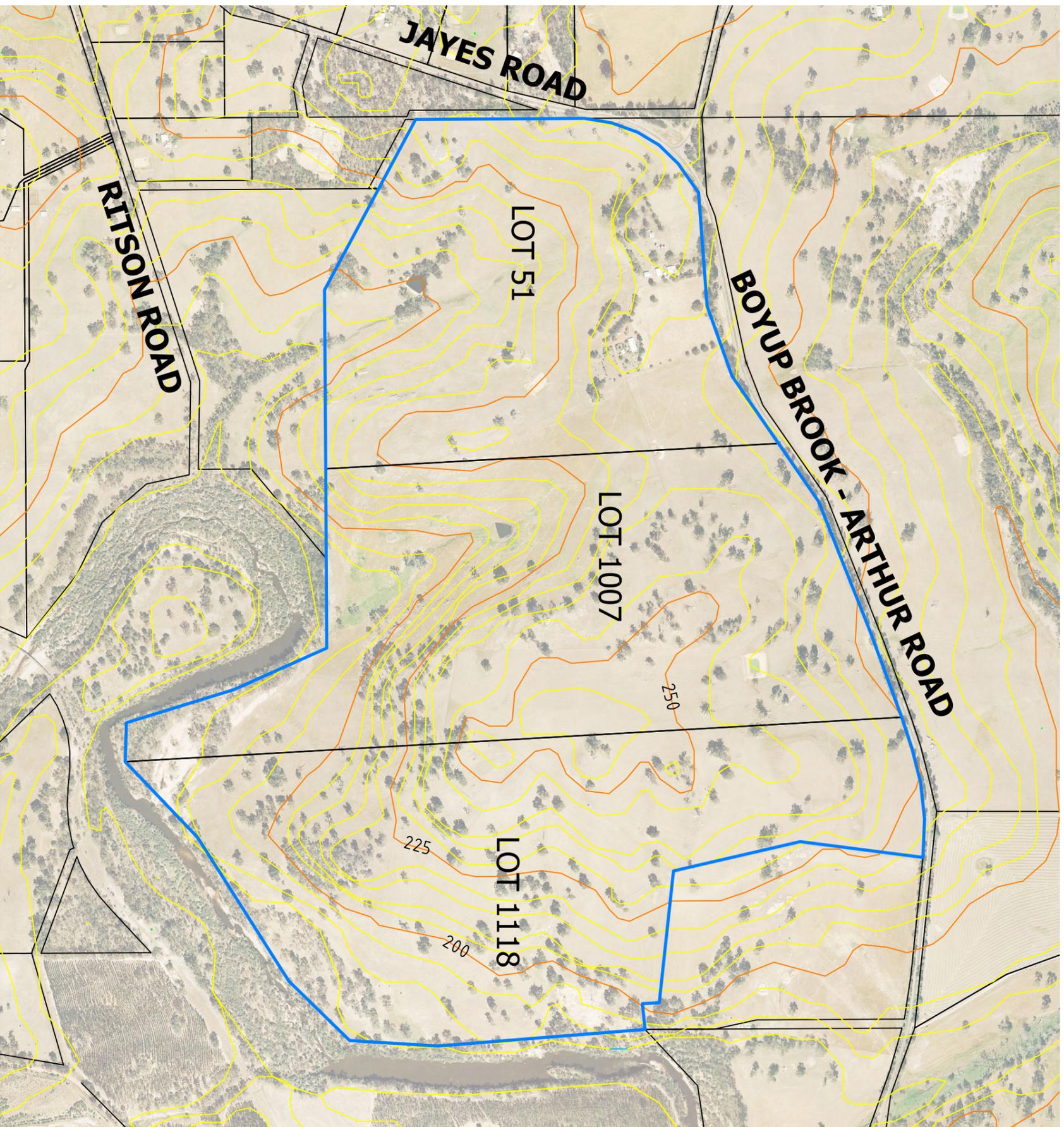
ATTACHMENT 2



LOCATION PLAN - PROPOSED DEVELOPMENT INVESTIGATION AREA
 Boyup Brook - Arthur Road
 Boyup Brook



ATTACHMENT 3



SITE PLAN
 LOT 51, 1007 and 1118.
 BOYUP BROOK-ARTHUR ROAD, BOYUP BROOK
 SHIRE OF BOYUP BROOK

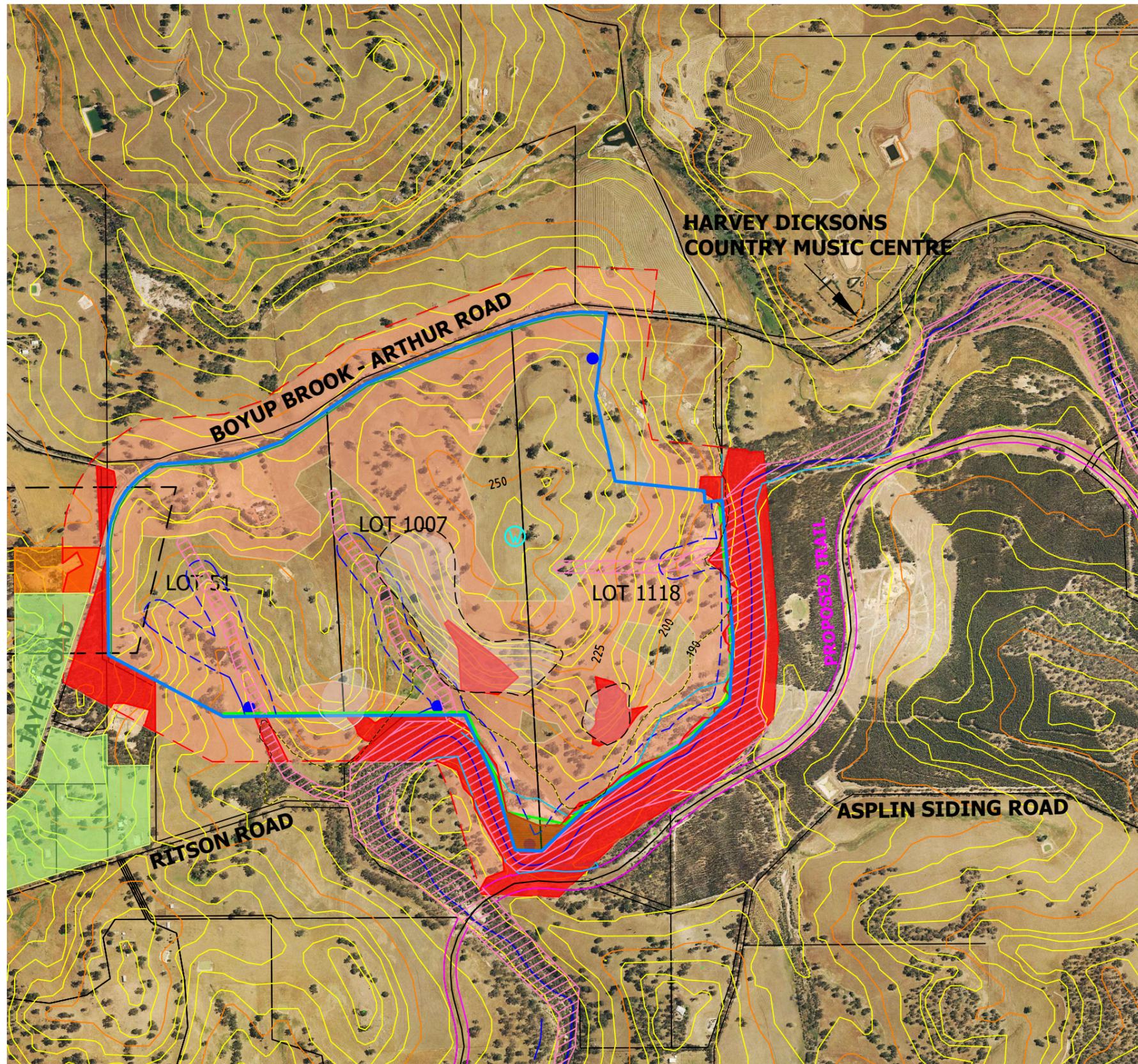
LEGEND
 Local Structure Plan Boundary
 Existing Lot Boundary
 Contours

SCALE APPROX DATE
 1:200 OCTOBER 2021



RDD LARELIN
 PO BOX 70 VASSIE WA 6280
 0428 134 306
 rdd@redlin.com.au

ATTACHMENT 4



- LEGEND**
- Subject Land
 - Rural Smallholding
 - Indicative High Level Water Tank Site
 - Resource Recovery Centre with 200m buffer
 - Drainage
 - Blackwood River
 - Foreshore Reserve
 - 5-10m wide revegetation strip along Boyup Brook/Arthur Road
 - Walk/Cycle Trail
 - Aboriginal Heritage Site
 - 50m Seasonal Water Course Setback
 - 100m Setback from Blackwood River
 - Extent of 1% Annual Exceedance Probability (AEP) Flood Level
- BUSHFIRE**
- Extreme Bushfire Risk Area
 - Moderate Bushfire Risk Area
 - Areas Outside Bushfire Risk Areas
 - Steeply Sloping Areas

-Most of the Site has a moderate Bushfire Hazard Level.

CONTEXT, OPPORTUNITIES AND CONSTRAINTS PLAN
 LOT 51, 1007 and 1118.
 BOYUP BROOK-ARTHUR ROAD, BOYUP BROOK
 SHIRE OF BOYUP BROOK

N
 SCALE
 APPROX.
 1:10000
 DATE
 28th OCTOBER 2021

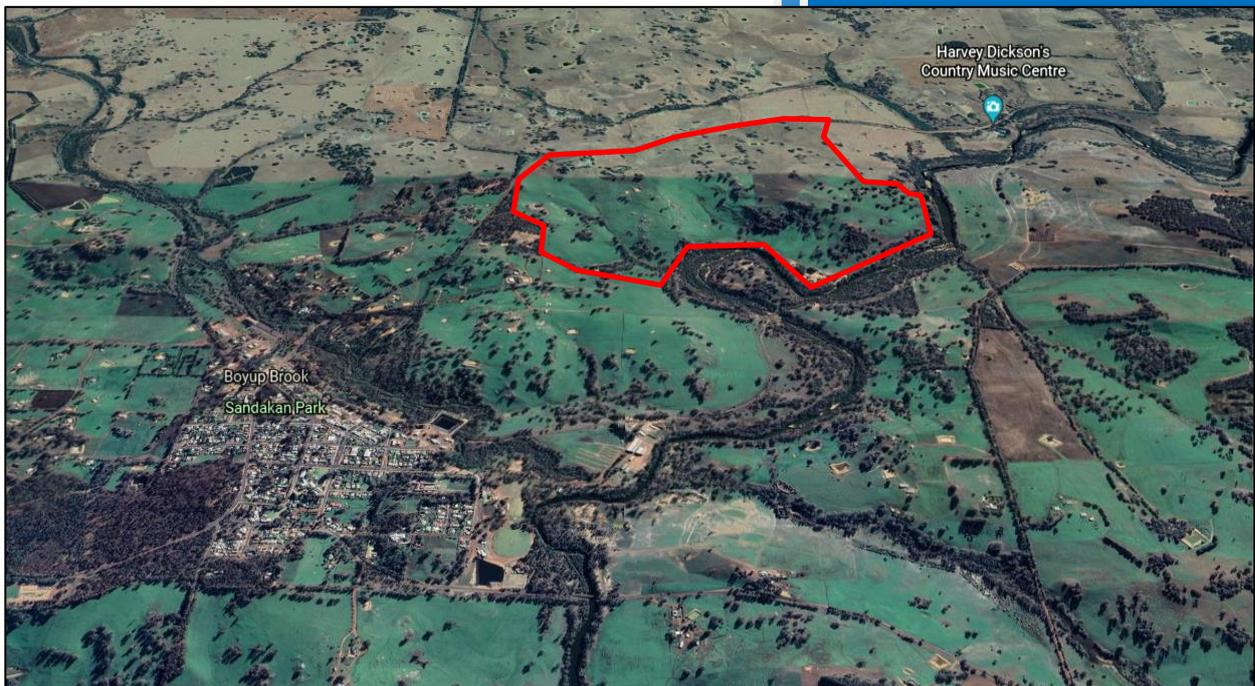


ROD LAKELIN
 PO BOX 70 VASSE WA 6280
 0428 171 306
 rodlakelin@bigpond.com

ATTACHMENT 5

**Lots 51, 1007, 118 Boyup
Brook – Arthur Road,
Boyup Brook WA**

Local Water Management Strategy



Bio Diverse Solutions

06/09/2021

DOCUMENT CONTROL

TITLE

Local Water Management Strategy – Lots 51, 1007, 1118 Boyup Brook-Arthur Road, Boyup Brook WA

Author (s): Chiquita Cramer

Reviewer (s): Bianca Theyer & Kathryn Kinnear

Job No.: EPP008

Client: Leaffield Pty Ltd

REVISION RECORD

Revision	Summary	Prepared by	Revised by	Date
Draft Id 23/08/2021	Internal QA review	C. Cramer	B. Theyer K. Kinnear	23/08/2021
Draft Id 24/08/2021	Sent to client for comment	C. Cramer	P. Eastlake	24/08/2021
Final 06/09/2021	Final Report issued to client	C. Cramer		06/08/2021



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08 9072 1382

www.biodiversesolutions.com.au

ABN 46 643 954 929

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1 Introduction

1.1 Background

Lots 51, 1007 and 1118 Boyup Brook-Arthur Road Local Water Management Strategy (LWMS) has been prepared by Bio Diverse Solutions on behalf of Leaffield Pty Ltd ('The Client') in support of a Rezoning Application prepared for the site.

The LWMS provides the framework for the application of total water cycle management to the proposed urban structure. This is consistent with the Department of Water and Environmental Regulation (DWER) principles of Water Sensitive Urban Design (WSUD) described in the Stormwater Management Manual (DoW, 2007).

1.2 Key Design Principles and Objectives

The LWMS employs the following key documents to define its content, key principles and objectives:

- Stormwater Management Manual for Western Australia (DoW, 2007).
- Better Urban Water Management (WAPC, 2008).

A summary of the key design principles and objectives from these documents is summarised below and provided in Table 1.

1.2.1 Stormwater Management Manual (DoW 2007)

The Department of Water (DoW) (now Department of Water and Environmental Regulation (DWER)) released *A Manual for Managing Urban Stormwater Quality in Western Australia* in 1998. The manual defines and practically describes Best Management Practices (BMP's) to reduce pollutant and nutrient inputs to stormwater drainage systems. The Manual also aims to provide guidelines for the incorporation of water sensitive design principles into urban planning and design, which would enable the achievement of improved water quality from urban development.

The document was released to provide a guideline for best planning and management practices and was intended for use by the DoW (now DWER), but also by other State and Local Government Authorities and sectors of the urban development industry.

DoW completed a major review of the manual in consultation with a working team comprising industry and government representatives. The revised manual was officially launched in August 2007.

DWER's current position on urban stormwater management in Western Australia is outlined in Chapter 2: *Understanding the Context of the Stormwater Management Manual for Western Australia* (DoW, 2007), which details the management objectives, principles and a stormwater delivery approach for WA. Principle objectives for managing urban water in WA are stated as:

- Water Quality: To maintain or improve the surface and groundwater quality within development areas relative to pre-development conditions.
- Water Quantity: To maintain the total water cycle balance within development areas relative to the pre-development conditions.
- Water Conservation: To maximise the reuse of stormwater.
- Ecosystem Health: To retain natural drainage systems and protect ecosystem health.
- Economic Viability: To implement stormwater systems that are economically viable in the long-term.
- Public Health: To minimise public risk, including risk of injury or loss of life to the community.

- Protection of Property: To protect the built environment from flooding and water logging.
- Social Values: To ensure that social aesthetic and cultural values are recognised and maintained when managing stormwater.
- Development: To ensure the delivery of best practice stormwater management through planning and development of high-quality developed areas in accordance with sustainability and precautionary principles.

1.2.2 Better Urban Water Management (WAPC, 2008)

The guideline document Better Urban Water Management (WAPC, 2008), focuses on the process of integration between land use and water planning. The document specifies the level of investigation and documentation required at various decision points in the planning process, rather than the provision of any specific design objectives and criteria for urban water management.

This LWMS complies with the BUWM process.

Table 1: Summary of design principles and objectives

Key Guiding Principles		
<ul style="list-style-type: none"> • Facilitate implementation of sustainable best practice urban water management. • Provide integration with planning processes and clarity for agencies involved with implementation. • To minimise public risk, including risk of injury or loss of life. • Protection of infrastructure and assets from flooding and inundation. • Encourage environmentally responsible development. • Facilitate adaptive management responses to the monitored outcomes of development. 		
Category	Key Design Principles & Objectives	LWMS Criteria
Surface Water Management	<ul style="list-style-type: none"> • Minimise changes in hydrology to prevent impacts on receiving environments. • Manage water flows from major events to protect infrastructure and assets. • Apply the principles of WSUD. • Adopt nutrient load reduction design objectives for stormwater runoff. • Floodplain management and urban drainage. • Adopt treatment train approach. 	<ul style="list-style-type: none"> • Post-development critical peak flows will be consistent with pre-development peak flow at the discharge point of each catchment within the Subject Site up to the 20% AEP. • First 15mm of rainfall from storm events will be treated at source where possible. • Drain re-alignment or profile modification may be carried out if the pre-development hydraulic capacity has been maintained. • Manage surface water flows from major events to protect infrastructure and assets from flooding and inundation.
Groundwater Management	<ul style="list-style-type: none"> • Manage groundwater levels to protect infrastructure and assets. • Maintain groundwater regimes for the protection of groundwater-dependent ecosystems. • Protect the value of groundwater resources. • Adopt nutrient load reduction design objectives for discharges to groundwater. 	<ul style="list-style-type: none"> • Managing and minimising changes in groundwater levels and groundwater quality following development.
Monitoring and Implementation	<ul style="list-style-type: none"> • Adopt an adaptive management approach. • Maintain drainage and treatment structures. 	<ul style="list-style-type: none"> • Design based on methodology in Stormwater Management Manual of adopting a treatment train including: <ul style="list-style-type: none"> • structural treatment measures (infiltration storages, plus bio-retention treatment structures). • Non-structural measures to reduce applied nutrient loads. • Maintain groundwater quality at pre-development levels (median winter concentrations) and, if possible, improve the quality of water leaving the development area to maintain and restore ecological systems.
Water Conservation	<ul style="list-style-type: none"> • Adopt drinking water consumption target. • Ensure that non-potable water supply systems deliver a net benefit to the community. • Ensure that non-potable water supply systems are designed as part of an integrated water supply. 	<ul style="list-style-type: none"> • Aim to achieve the State Water Plan target for water use and reduce water use where possible. • Consider alternative fit for purpose water sources where appropriate and cost-effective.

1.3 Suitable Qualified Hydrologist

This LWMS has been prepared by Chiquita Cramer, who has 12 years of experience working as a hydrologist and hydrogeologist.

Chiquita Cramer currently has the following tertiary qualifications:

- Bachelor of Science in Natural Resource Management (University of Western Australia); and
- Graduate Certificate in Hydrogeology (University of Western Australia).

Chiquita completed a Bachelor of Science in Natural Resource Management in 2008 at the University of Western Australia. She then went on to work as a hydrologist and senior hydrologist at JDA Consultant Hydrologists in Perth where she worked for 8 years. Chiquita’s experience includes preparation of multiple local and urban water management strategies, hydrological and hydraulic investigations, surface water and groundwater monitoring reports and hydrogeological reports. Chiquita furthered her studies in 2012 by completing a Graduate Certificate in Hydrogeology and in 2017 she joined Bio Diverse Solutions to provide expertise in hydrology and hydrogeology to the company.

1.4 Location

Lots 51, 1007 and 1118 Boyup Brook-Arthur Road (herein referred to as the Subject Site) comprises of approximately 221.8ha and is located approximately 2.5km northeast of the Boyup Brook town centre. The Subject Site is bound by Boyup Brook-Arthur River Road to the north, the Blackwood River to the east and southeast and adjoins cleared agricultural land to the east, west and southwest. The location of the Subject Site is shown on Figure 1.

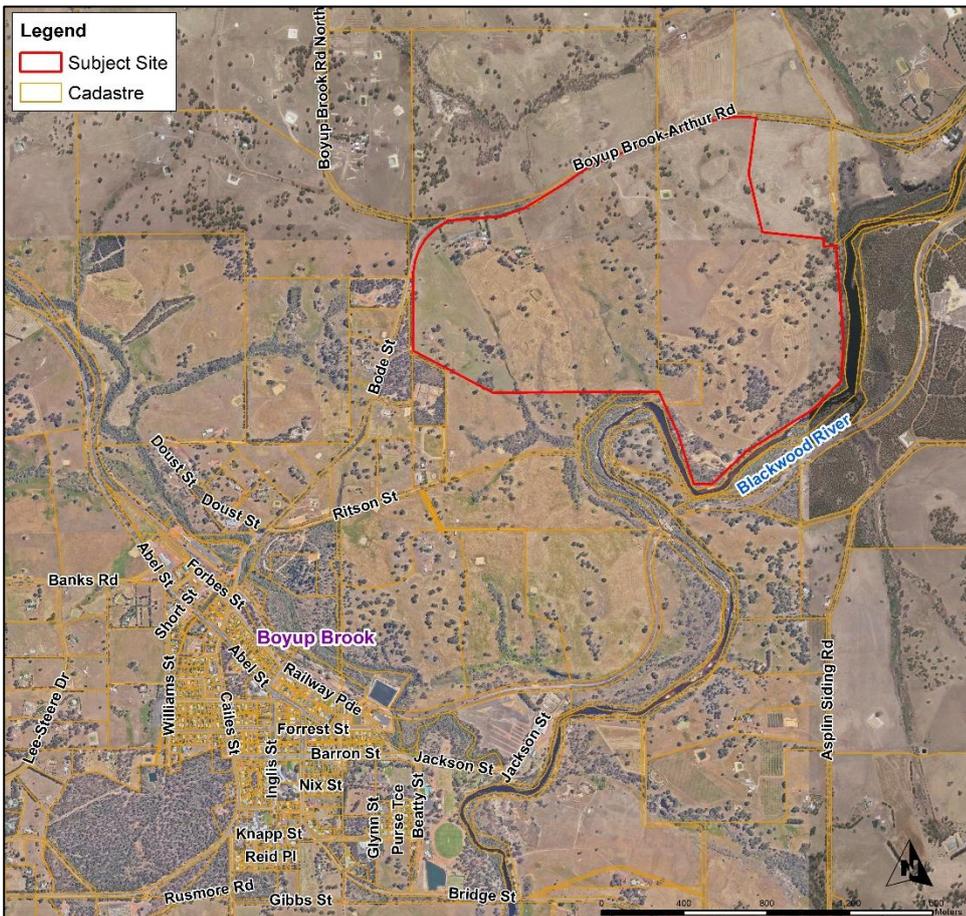


Figure 1: Location Plan

2 Proposed Development

The Subject Site is situated within the Shire of Boyup Brook and zoned *Rural* under the Shire of Boyup Brook Local Planning Scheme No. 2. It is proposed to rezone the Subject Site from *Rural* to *Special Rural* to allow for rural residential lots ranging in size from 2,000m² upwards. A plan showing the main internal road network for the proposed development subsequent to the rezoning is shown on Figure 2.

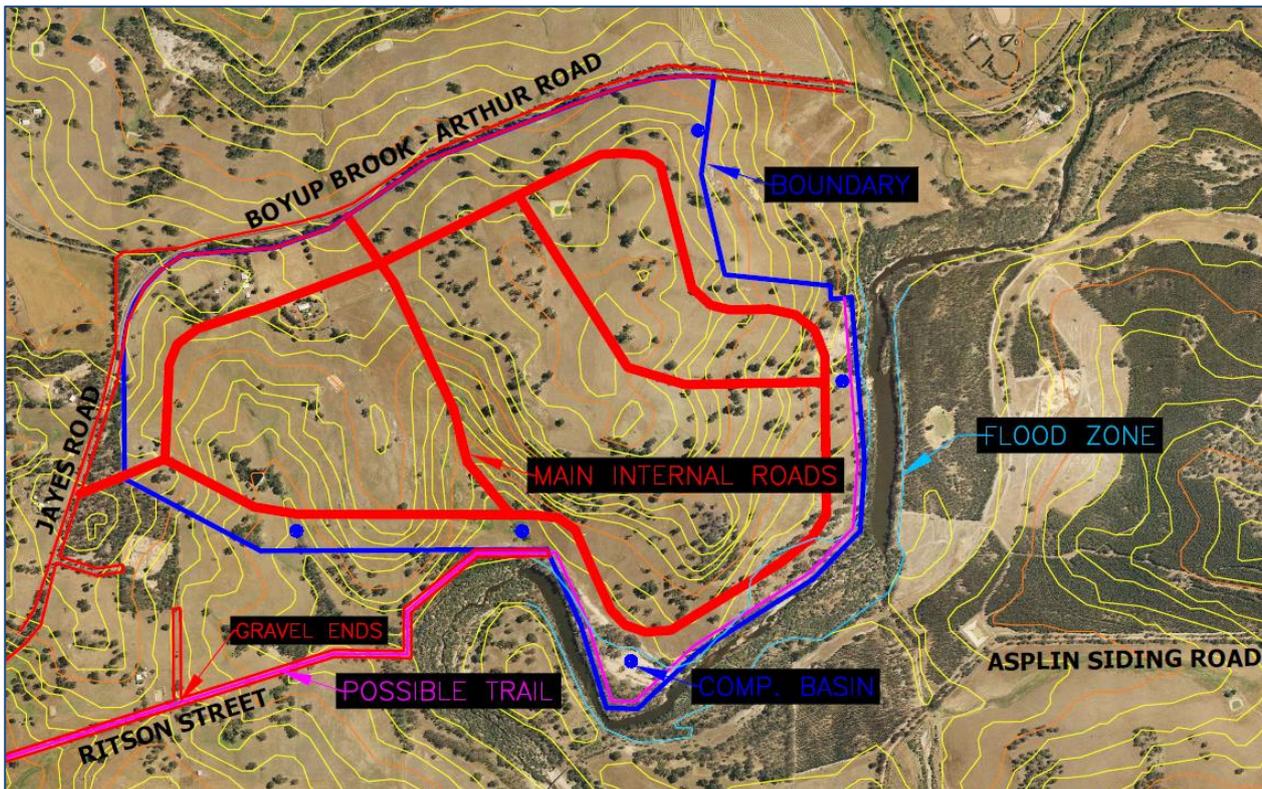


Figure 2: Subdivision Concept Plan

Key elements of the Rezoning Application relating to Urban Water Management include:

- Use of bio-retention treatment systems for detention and treatment of stormwater runoff from internal roads;
- Utilise the Blackwood River for detention and conveyance of stormwater from larger storm events for flood mitigation;
- Building finished levels will be a minimum 500 mm above 100yr ARI top water levels in stormwater storage areas;
- Promotion of the use of local native plants for gardens, streetscaping and river foreshore. Any non-local species will be selected for drought tolerance and low fertiliser requirements; and
- Use of the Blackwood River foreshore area for water quality treatment and flood attenuation.

3 Pre-development Environment

3.1 Existing Land Use

The site currently consists of agricultural land used for mixed cropping and livestock. There is one dwelling located in the northwest of the site, which consists of a house and several machinery sheds. The eastern and south-eastern boundary of the Subject Site fronts the Blackwood River, which is the largest river in the southwest extending from the township of Wagin through the southwest to Augusta.

3.2 Topography

The Subject Site generally slopes from northwest to southeast towards the Blackwood River, from a high point of 255m AHD in the central portion of the site to 180m AHD along the Blackwood River foreshore in the southeast and east of the site. A smaller northern portion of the site slopes down towards the Boyup Brook-Arthur Road which lies at approximately 225m AHD. Topographic contours (5 metre contours) for the Subject Site are shown on Figure 3.

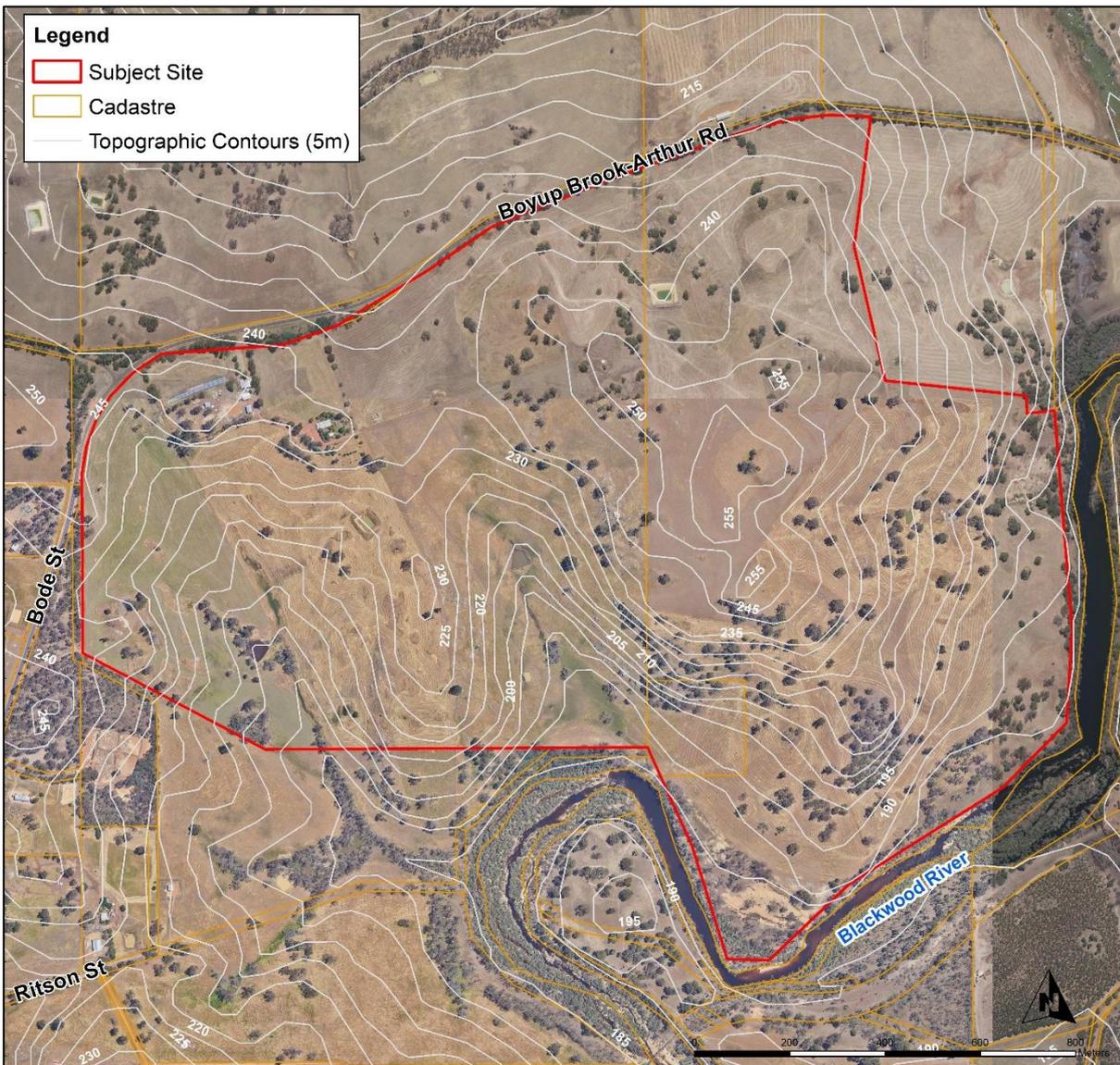


Figure 3: Topography

3.3 Climate

The Boyup Brook area is characterised by a Mediterranean climate with warm dry summers and cool wet winters. Rainfall data is from the nearby Bureau of Meteorology (BoM, 2021) Boyup Brook Station (Site No. 9504).

The long-term average annual rainfall is 646 mm (1914 to 2020). This average has decreased between 2000 to present, to an average annual rainfall of 542mm, reflecting a 16% reduction compared to the long-term average, consistent with a general trend in the South West of WA.

The total rainfall distribution has also altered, with a reduction of average winter monthly rainfall, but no significant reduction in average summer monthly rainfall.

The average annual pan evaporation for the Boyup Brook area is approximately 1399 mm (Luke et al 1988).

3.4 Remnant Vegetation

The Subject Site predominantly consists of cleared agricultural land with scattered paddock trees, and small patches/strips of remnant vegetation along the river foreshore.

The Subject Site lies within the JF02 – Jarrah Forrest Interim Bio-geographic Regional Area (IBRA).

The vegetation has been mapped on a broad scale by J.S. Beard (Shepherd et al 2002) in the 1970's, where a system was devised for state-wide mapping and vegetation classification based on geographic, geological, soil, climate structure, life form and vegetation characteristics. A GIS search of J.S. Beards vegetation classification places the Subject Site within one System and Vegetation Association (DPIRD, 2017a):

- **System Association Name:** Bridgetown.
- **Vegetation Association Number:** 992 & 3.
- **Vegetation Description:** Mainly jarrah and marri *Eucalyptus marginata*, *Corymbia calophylla*.

There are no Conservation Parks or Class "A" Reserves within the Subject Site or within the vicinity of the Subject Site.

3.5 Acid Sulphate Soils

Acid sulphate soils (ASS) are naturally occurring soils and sediments containing sulphide minerals, predominantly pyrite (an iron sulphide). When undisturbed below the water table, these soils are benign and not acidic (potential acid sulphate soils). However, if the soils are drained, excavated or exposed by lowering of the water table, the sulphides will react with oxygen to form sulphuric acid. Acid Sulphate Soil (ASS) Risk Mapping indicates the Subject Site does not sit within any known areas of ASS (DWER, 2017).

3.6 Geology and Soils

Database searches show the Subject Site lies within the Boyup Brook Valleys System (253Bv). The system is described as; "Valleys, in the south of the Eastern Darling Range (Blackwood Catchment). Gravel, sandy duplex loamy duplex. Jarrah-marri-wandoo forest and woodland." (DPIRD, 2017b).

A site soil investigation was conducted on the 3rd August 2021 by Bio Diverse Solutions. The site investigation included the construction of 13 test holes to a depth of up to 2 metres, logging of soils to the depth of the hole and inspection and measuring of the water table.

The test holes were constructed using a 65mm diameter hand auger and were left open for 1hr for inspections of water table depth. The location of the 13 test holes is shown on Figure 4.

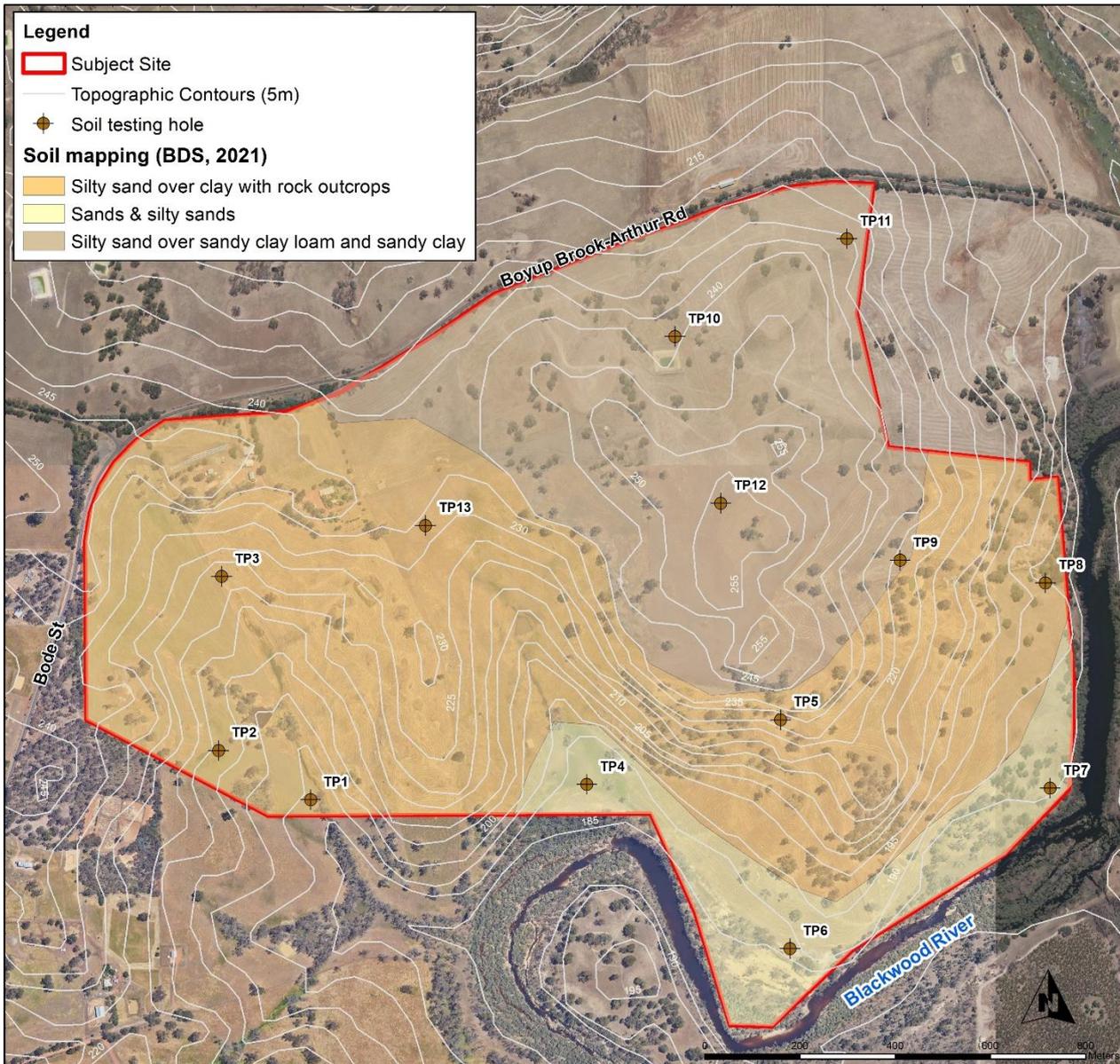


Figure 4: Soil testing and mapping

The 13 test holes revealed that soils across the site comprised of three soil types:

- Silty sand topsoil over deep sands, no groundwater encountered to 2 metres (found along the river foreshore);
- Silty sand over moderately to poorly sorted sandy loam and sandy clay loam with low plasticity and no groundwater encountered to 2 metres (found in the higher elevations in the north east of site); and
- Silty sand over clay with high plasticity, a perched water table and scattered granite rock outcrops throughout (found in the west and central portion of the site).

The estimated boundaries of the three soil types are shown on Figure 4 with the soil testing results presented in Table 2.

Table 2: Soil Testing Results

Test Hole	Depth	Soil Type	Soil Description
TP1	0-150mm 150-1000mm 1000-1300mm 1300-1500mm 1500mm +	Sand with silt Sand with silt Sandy clay Sand with silt Bedrock	Grey, fine, roots and root fibres (Topsoil), moist. Dark grey, medium, well sorted, saturated. Low plasticity, dark grey, medium grained sand, saturated. Orange, fine, well sorted, saturated. Refusal, granite rock. Water table was encountered 0.3m BGL.
TP2	0-150mm 150-500mm 500-800mm 800mm+	Sand with silt Sandy loam Sandy loam Clay	Grey, fine, roots and root fibres (topsoil), moist. Dark brown, medium, well sorted, moist. Brown, medium, well sorted, saturated. High plasticity, orange brown mottled, saturated. Water table was encountered 0.17m BGL.
TP3	0-150mm 150-500mm 500mm+	Sand with silt Sandy loam Clay	Grey, fine, roots and root fibres (topsoil), moist. Brown, medium, well sorted, moist. High plasticity, red/orange, moist. Water table was encountered 0.5m BGL.
TP4	0-300mm 300-1800mm	Sand with silt Sand with silt	Grey, fine, roots and root fibres (topsoil), moist. Brown/orange, fine, well sorted, moist-saturated. Water table was encountered 0.65m BGL.
TP5	0-300mm 300-1500mm	Sand with silt Gravelly clay	Grey, fine, roots and root fibres (topsoil), moist. Low plasticity, cemented layer, red/brown, coarse gravel, moist. No water table was encountered.
TP6	0-300mm 300-2000mm	Sand Sand	Dark brown, fine, well sorted, roots and root fibres (topsoil), dry. Yellow, fine, well sorted, dry. No water table was encountered.
TP7	0-300mm 300-2000mm	Sand Sand	Brown, fine, well sorted, roots and root fibres (topsoil), dry. Brown-yellow, fine, well sorted, dry. No water table was encountered.
TP8	0-150mm 150-300mm 300-800mm 800-1500mm	Sand with silt Sandy loam Sandy clay Sandy loam	Grey, fine, roots and root fibres (topsoil), moist. Orange/brown, fine, well sorted, moist. Low plasticity, yellow/brown, medium sand, moist. Yellow/brown, medium, well sorted, moist. No water table was encountered.
TP9	0-150mm 150-300mm 300-800mm 800-1500mm	Sand with silt Sandy loam Sandy clay loam Sandy clay	Grey, fine, roots and root fibres (topsoil), moist. Dark brown, fine, well sorted, moist. Orange/brown, medium, poorly sorted, moist. Low plasticity, orange, medium-coarse sand, moist. No water table was encountered.
TP10	0-150mm 150-300mm 300-700mm 700-1300mm	Sand with silt Sandy loam Sandy clay loam Sandy clay loam with gravel Gravelly clay	Grey, fine, roots and root fibres (topsoil), moist. Dark brown, fine, moderately sorted, moist. Dark brown, fine-coarse, moderately sorted, moist. Red-brown, fine-coarse, poorly sorted, moist. Low plasticity, orange/red, moist. No water table was encountered.

Table 2 continued.

Test Hole	Depth	Soil Type	Soil Description
TP11	0-150mm 150-300mm 300-700mm 700-1500mm	Sand with silt Sandy loam Sandy loam Sandy clay loam	Grey, fine, roots and root fibres (topsoil), moist. Dark brown, fine, moderately sorted, moist. Orange/brown, fine-coarse, poorly sorted, moist. Orange, fine-coarse, poorly sorted, moist. No water table was encountered.
TP12	0-150mm 150-300mm 300-600mm 600-1500mm	Sand with silt Sandy loam Sandy clay loam Sandy clay	Grey, fine, roots and root fibres (topsoil), moist. Dark brown, fine, well sorted, moist. Dark brown, fine, moderately sorted, moist. Low plasticity, orange/brow, moist. No water table was encountered.
TP13	0-150mm 150-600mm 600mm+	Sand with silt Sandy clay Clay	Grey, fine, roots and root fibres (topsoil), moist. Moderate plasticity, black, moist. High plasticity, orange, moist. No water table was encountered.

Phosphorous Retention Index

Phosphorous retention Index (PRI) is the ability of soils to absorb nutrients and heavy metals within the soil (i.e. Soil microbe disinfecting ability). Soils with a PRI less than 1 have a very poor ability to retain nutrients and heavy metals, whilst soils with a PRI of >5 having a high ability to retain nutrients and heavy metals. PRI testing was conducted on samples from soil testing hole TP1, TP4, TP6, TP8 and TP11 by CSBP Soil Laboratories. PRI results are presented in Table 3.

Table 3: Phosphorus Retention Index

Soil Testing Hole	Depth (mm)	PRI
TP1	150-1000	27.2
TP4	300-1800	5.9
TP6	300-2000	3.6
TP8	800-1500	79.0
TP11	700-1500	129.7

The test results indicate that the site soils have a moderate to very high ability of fixing nutrients and heavy metals consistent with soil types found across the site. As expected, the lowest PRI was found in TP4 and TP6 in the south of the site in the deep sands, however it is noted that PRI here was still found to be moderate. Higher PRI was found in the clays and loams across the site, with the highest found in TP11 in the northeast of the site.

3.7 Surface Water Hydrology

There are no major drainage networks or water bodies within the Subject Site. Surface water generally runs off the site in a south easterly direction towards the Blackwood River. The Blackwood River is the largest river in the south west of Western Australia with a catchment area of 28,100 km². The river begins near the township of Wagin and flows through many small towns in the southwest prior to discharging to the coast line near Augusta.

There are three seasonal creek lines located across the site that flow in a south easterly and easterly direction towards the Blackwood River. A relatively smaller portion of the site in the north drains in a northerly direction towards Boyup Brook-Arthur Road and in an easterly direction towards an adjacent agricultural property which ultimately drains to the Blackwood River.

The pre-development surface water hydrology of the site and surrounding areas is shown on Figure 5. The general surface water hydrology of the site will be maintained post-development.

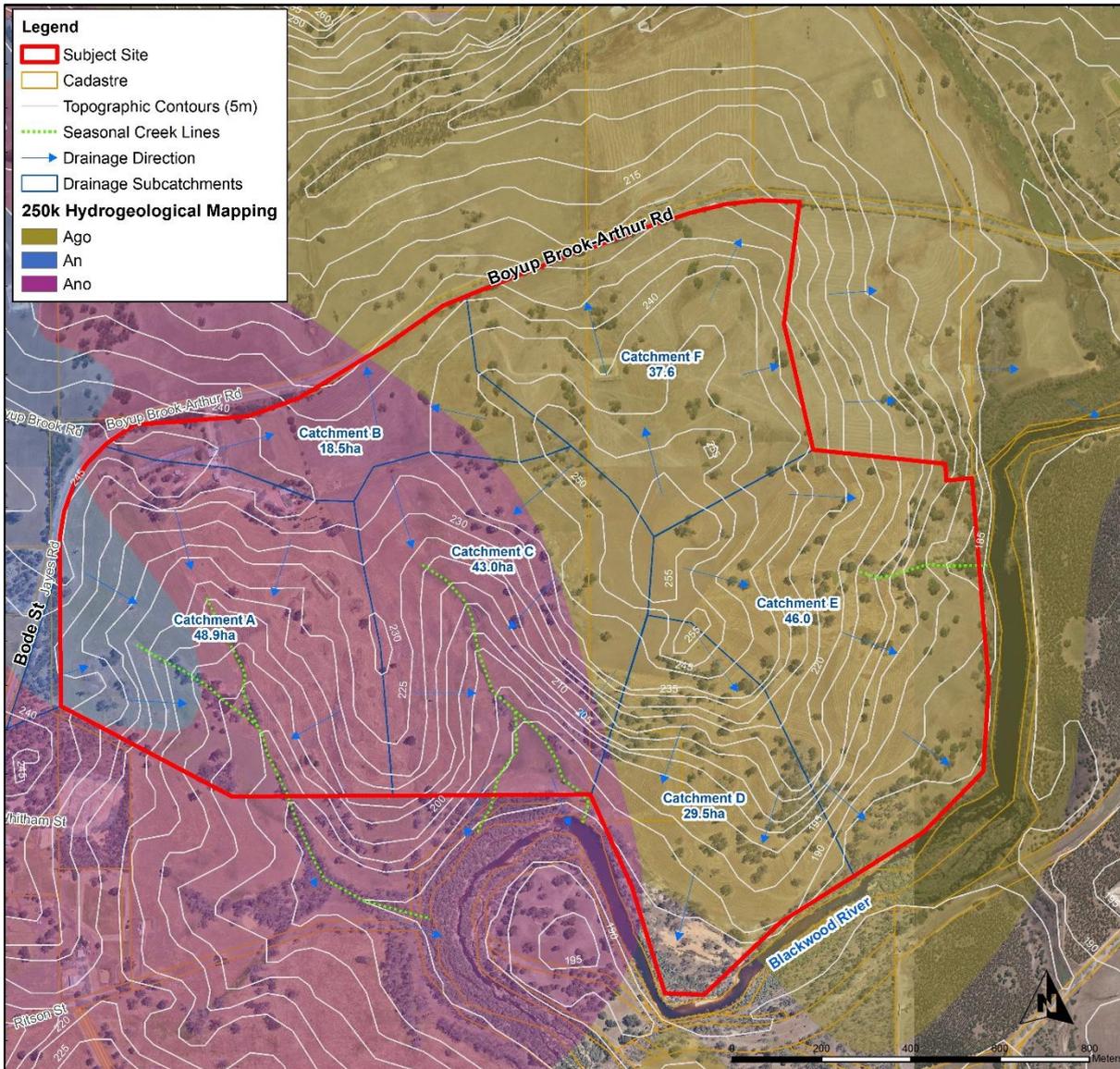


Figure 5: Pre-development Surface Water Hydrology

A hydrological investigation across the site was conducted on the 3rd August 2021 to confirm the surface water hydrology of the site and guide the development to establish a post development surface water management strategy. Rainfall prior to the site investigation was significantly higher than average for the months of February – July 2021. Findings of the site assessment are presented in Sections 3.7.1 and 3.7.2.

3.7.1 Seasonal Creek Lines

The presence of three seasonal creek lines were confirmed across the site, all discharging to the Blackwood River. The Western and Eastern Creeks at the time of the investigation had a trickle flow of water discharging to the Blackwood River. The Central Creek was not flowing; however, it did have standing water within its lower reaches. Photographs of the seasonal creek lines are shown in Photographs 1 to 6.



Photo 1: A dam located in the upper reaches of the western creek line which provided a trickle flow of water to the lower reaches of the creek during the site investigation.



Photo 2: The lower reaches of the western creek, with trickle flow to neighboring property to the south and ultimately the Blackwood River.



Photo 3: Upper reaches of the central creek, not flowing at the time of site investigation.



Photo 4: The lower reaches of the central creek, with standing water adjacent to the Blackwood River.



Photo 5: View upstream of eastern creek line, with trickle flow towards the Blackwood River.



Photo 6: The lower reaches of the eastern creek line, characterized by deep eroded creek banks and trickle flow towards Blackwood River.

Table 4: Water quality of seasonal creeks

Creek	Temperature (°C)	pH	Electrical Conductivity (mS/cm)	Dissolved Oxygen (mg/L)	Total Dissolved Solids (g/L)
Western Creek	10.74	7.99	1.95	11.40	1.25
Central Creek	13.73	6.54	2.36	5.31	1.51
Eastern Creek	11.02	7.54	1.61	10.90	1.25

Water quality testing results found that the surface water within the creeks was slightly saline with a neutral pH. The dissolved oxygen was consistent with fresh flowing water in the western and eastern creeks, however was found to be significantly lower in the central creek where the water was more stagnant in nature and likely to consist of a higher level of sediment and decaying organic matter.

The surface water quality found in the creeks coming from the Subject Site shall be maintained or improved in the post-development scenario.

3.7.2 Blackwood River

Flood levels in the Blackwood River during the site investigation were higher than at the same time on an average year due to the higher than average rainfall experienced from February – July 2021 in the southwest of the state. Flood levels in the river fronting the Subject Site extended to the outer edge of the riparian zone surrounding the river. There was only one location along the river where the flood levels of the river encroached into the Subject Site at the time of the site investigation, this was adjacent to where the Eastern Creek meets the river. The flood levels seen in the Blackwood River on the 3rd August 2021 during the site investigation are used to determine the setbacks for the development, given they are the highest levels seen in recent times (M. Hardey 2021 pers. Comms., 3 August). Photographs of the Blackwood River fronting the Subject Site are shown on Photographs 7 and 8.



Photo 7: The Blackwood River fronting the Subject Site near the location of soil testing site TP6. Flood levels extend to the outer edges of the riparian zone outside of the Subject Site.



Photo 8: The Blackwood River fronting the Subject Site near the location of TP4. Flood levels extend beyond the river channel to the outer edges of the riparian zone outside of the Subject Site.

Water quality testing was conducted at one location within the Blackwood River, adjacent to soil testing location TP4. Water quality testing was conducted using a Horiba-50 Water Quality Meter. Testing results are presented in Table 5.

Table 5: Water quality Testing of the Blackwood River

	Temperature (°C)	pH	Electrical Conductivity (mS/cm)	Dissolved Oxygen (mg/L)	Total Dissolved Solids (g/L)
Blackwood River	10.96	7.15	3.65	8.99	2.38

Water quality testing results found that the surface water within the Blackwood River fronting the Subject Site was slightly saline to brackish with a neutral pH. The dissolved oxygen was consistent with fresh flowing water and similarly to the electrical conductivity the total dissolved solids was elevated when compared to ANZECC water quality guidelines

The post-development scenario shall maintain or improve the water quality of the Blackwood River.

3.8 Hydrogeology and Groundwater

Australian Geoscience Mapping and Department of Water 250K Hydrogeological mapping places the Subject Site within three hydrogeological zones, being:

Archaean (Ano) – with the geology described as ‘*Granitoid gneiss, migmatite and minor schist; subsurface generally weathered to clay (indicated by lighter colour) (outcrop)*’ and the aquifer described as; ‘*Fractured and weathered rocks - local aquifer, very minor or no groundwater resources*’. and

Archaean (Ago) – with the geology described as ‘*Granitoid rock, porphyritic and even-grained; subsurface generally weathered to clayey sand (indicated by lighter colour) (outcrop)*’ and the aquifer described as; ‘*Fractured and weathered rocks - local aquifer, minor groundwater resources*’. and

Archaean (An) – with the geology described as ‘*Granitoid gneiss, migmatite and minor schist; subsurface generally weathered to clay (indicated by lighter colour)*’ and the aquifer described as; ‘*Fractured and weathered rocks - local aquifer, very minor or no groundwater resources*’.

Hydrogeological mapping for the Subject Site is shown on Figure 5.

Groundwater levels across the site were measured as part of the site soil investigation. The investigation found groundwater was encountered near surface in the western portion of the site where dense clays were found to be present. Groundwater levels here ranged between 0.17 and 0.65 m below ground level. The groundwater encountered is not likely an indication of the true local surficial groundwater table rather a perched groundwater table, perching on the dense clays below. Groundwater was not encountered to 2 metres depth in the southern portion of the site fronting the river or in the north of the site further indicating the groundwater in the west is a result of a perched water table.

The Subject Site is not located within a Public Drinking Water Source Protection Area (DWER, 2001b).

3.9 Wetlands

There are no Conservation Category Wetlands (CCW) or classified Environmentally Sensitive Areas (ESA) within the Subject Site or within the vicinity of the Subject Site. The Blackwood River, whilst not classified by Government Departments as a CCW or ESA is a major drainage network and resource that passes through much of the southwest of the state. Long-term maintenance of the river’s biological diversity, soil structure and water quality and quantity should be a primary consideration.

4 Wastewater Management

4.1 Site Suitability

The health and environmental requirements for wastewater treatment and disposal for developments not serviced by deep sewerage systems are contained in the *Government Sewerage Policy*, (DPLH, 2019a). The Subject Site is situated in an area that does not have access to deep or reticulated sewerage and is not classified as a Sewage Sensitive Area (DPLH, 2019b). The *Government Sewerage Policy* (DPLH, 2019a) states minimum requirements apply for all on-site sewage disposal systems.

A site assessment was conducted to assess the site for onsite effluent disposal suitability. The assessment of the site involved physical site testing under late winter conditions and analysis of environmental constraints to the site and the potential use of onsite effluent disposal. As described in Section 3.6 soil testing conducted 3rd August 2021 involved detailed soil analysis, photographic recording, logging of soil types and measuring of water table by Bio Diverse Solutions.

The soils on site were found to consist of;

- Silty sand topsoil over deep sands, no groundwater encountered (found along the river foreshore);
- Silty sand over moderately to poorly sorted sandy loam and sandy clay loam with low plasticity and no groundwater encountered (found in the higher elevations in the north east of site); and
- Silty sand over clay with high plasticity, a perched water table and scattered granite rock outcrops throughout (found in the west of the site).

To enable use of the soils having heavy clays, a perched water table and/or shallow bedrock for onsite effluent disposal such as those seen in the west of the Subject Site, special design requirements and distribution techniques or soil modification procedures are necessary to ensure the rate of percolation of effluent through the soil is less than the effluent generation rate. Onsite effluent disposal on the sands in the south should be achievable using a typical leach drain system, however much of this soil type is found within the 100m setback requirement to the Blackwood River. In the northeast of the site where soils consist of sandy loams and clays of low plasticity further permeability testing is recommended to establish whether typical leach drain systems can be successfully utilised or whether special design requirements are required.

The Subject Site whilst undulating in topography does not exceed the minimum grade requirements (1:5) for onsite disposal as outlined in Table 3 of the Draft Government Sewerage Policy (2019a).

Groundwater was not encountered to 2 metres depth across the majority of the site, groundwater was encountered near surface in the west of the site where groundwater was found to be perching on the heavy clays below. Special design requirements will be required here to ensure the minimum requirement of 0.6m of separation between groundwater and onsite effluent disposal is achieved.

A minimum setback of 100m between onsite effluent land application areas and the Blackwood River shall be established and a minimum setback of 50m between land application areas and the seasonal creek lines shall be established given the use of secondary treatment systems, with a 100m minimum setback to the creek lines required without the use of secondary treatment systems.

Table 6 outlines a summary of policy and compliance of the site to minimum requirements. Environmental constraints pertaining to onsite effluent disposal and the required setbacks to waterways are shown on Figure 6.

Table 6: Minimum requirements for all on-site wastewater disposal systems and design specific standards

Site Feature	Minimum Requirement	Requirement met
Separation from waterways	a wellhead protection zone or on Crown land within a reservoir protection zone; 100 metres of the high-water mark of a reservoir or 100 metres of any bore used for public drinking water supply where: — a wellhead protection zone or reservoir protection zone has not been assigned; or — where existing lots would be rendered undevelopable by the wellhead protection zone.	Yes The Subject Site is not located within the vicinity of a Priority Drinking Water Source Area (PDWSA) and associated wellheads.
	30 metres of a private bore used for household/ drinking water purposes.	Yes There are no private production bores at the Subject Site or within the vicinity of the Subject Site. Any bore constructed on site shall be >30m from land application areas.
	100 metres of a waterway or significant wetland and not within a waterway foreshore area or wetland buffer. The separation distance should be measured outwards from the outer edge of riparian or wetland vegetation.	Yes A 100m setback for onsite effluent disposal shall be established between the outer edges of the Blackwood River and onsite effluent land application areas.
	100 metres of a drainage system that discharges directly into a waterway or significant wetland without treatment.	Yes A 100m setback shall be established between the outer edges of the riparian zone of the Blackwood River and onsite effluent land application areas. A 50m setback shall be established between seasonal creek lines and onsite effluent disposal areas given the use of secondary treatment units, 100m setback shall apply if secondary treatment units are not utilised.
	Any area subject to inundation and/or flooding in a 10 per cent Annual Exceedance Probability (AEP) rainfall event.	The only areas subjected to possible flooding are those adjacent to the Blackwood River, a 100m setback between the outer edges of the Blackwood River riparian zone and onsite effluent disposal shall be established.
Separation from groundwater – outside of public drinking water source areas.	Where land is not within a public drinking water source area or a sewage sensitive area, the discharge point of the on-site sewage system should be located the following distances above the highest groundwater level: <ul style="list-style-type: none"> • for loams and heavy soils, at least 0.6 metres • for gravels, at least one metre • for sands, at least 1.5 metres. Where a nutrient retentive secondary treatment system is used, at least 0.6 metres. 	Yes The groundwater was not encountered to 1.5m depth across the majority of the site under late winter conditions. A perched groundwater table was encountered <0.6m depth in the west of the site, special design requirements including the importation of fill is required here to achieve the minimum separation requirements to groundwater.
Land Application Area	A land application area should be provided for all development in accordance with tables 2 and 3 of this schedule for the disposal of sewage.	Yes The proposed land application areas shall be determined at structure plan stage and shall be in accordance with the Government Sewage Policy and the AS/NZS 1547:2012.

Table 6 continued.

Site Feature	Minimum Requirement	Requirement met
	The land application area includes the area restricted to the distribution of treated sewage only and should be kept free of any temporary or permanent structures.	Yes The future proposed land application areas shall be kept free of any temporary or permanent structures. The land application areas shall be placed in an area so that requirements are met. Site plan to be forwarded to the Shire of Boyup Brook and DoH prior to approval.
	Activities within the land application area shall not interfere with the function of the current and future land application system and people should avoid potential contact with effluent residues. Unless allowed for in the design, the land application area) should: <ul style="list-style-type: none"> not be built on or paved in a manner which precludes reasonable access; not be subject to vehicular traffic (other than a pedestrian-controlled lawnmower); not be subject to regular foot traffic such as pathways and clothes line areas; and should be kept in a manner which enables servicing and maintenance of the disposal system. 	Yes The proposed land application areas shall be a sufficient distance to areas that are utilized for activity or pedestrian traffic. The land application areas shall be placed in an area so that requirements are met. Site plan to be forwarded to the Shire of Boyup Brook and DoH prior to approval.
Gradient of the land application area	Where slope exceeds one in five (1:5), the land application area should be engineered to prevent run-off from the land application area. Surface contours should be provided on the site plan.	Yes Proposed land application areas shall be situated on land that does not exceed 1:5 gradient. Natural and finished gradients of land application areas shall not exceed 1:5 gradient. Site plan to be forwarded to SoBB/DoH prior to approval.
Location of land application area within building envelope	Local government may approve the location of land application areas outside building envelopes where proposed location meets requirements outlined above.	Noted

4.1 Land Application

In impermeable layers such as those containing clay and/or shallow bedrock/rock outcrops as seen across much of the Subject Site movement of water is restricted and effluent will move away from the disposal field very slowly. In this situation standard leach drains are subjected to failure because the rate of percolation of effluent through the soil is less than the effluent generation rate.

The most suitable system in this instance is a subsurface irrigation system (inverted leach drains). This type of system utilises shallow trenches laid in a suitable depth of good quality topsoil and perforated pressure lines which are nestled in a distribution pipe within the trenches. The dosed flow into the distribution pipe facilitates the longitudinal distribution of effluent into the soil along the full length of each shallow trench, thus avoiding spot loading of effluent at each perforation. Additional sand fill will be required particularly in those areas with a shallow perched groundwater table to achieve the minimum separation to groundwater of 0.6m for heavy clays.

Low pressure effluent distribution systems may utilise either primary or secondary treated water (ASNZS 1547:2012), in this instance a secondary system (aerobic treatment unit) is considered necessary. This consideration is based on the Subject Site's proximity to waterways/drainage networks and other land owners and the shallow depth of the perched water table in the west of the site.

Subsurface irrigation systems shall be designed to ensure that effluent is not applied at rates which exceed the absorption capacity of the soil. Care shall be taken to ensure that the application rate does not lead to:

- (a) Adverse effects on soil properties and plant growth through excess salt accumulation in the root zone during extended dry periods;
- (b) Harmful long-term environmental effects to the soil of the land application system or the adjacent surface water and groundwater; or
- (c) Increased risk to public health from surface ponding in the land application area or channelling or seepage beyond the land application area.

The subsurface irrigation system shall be designed to promote evapotranspiration. Care shall be taken to ensure that the irrigation area is well planted with plant species that area

- Water tolerant;
- Appropriate for the site conditions; and
- Planted at an appropriate density for effective evapotranspiration.

Typical leach drain systems may be utilised in the northeast of the site and in the south within the sand and sandy loam layers given infiltration/permeability at the base of the leach drains exceeds inflow of effluent into the system and the minimum groundwater separation requirements as outlined in the Government Sewerage Policy (DPLH, 2019a) are met. Infiltration/permeability rates shall be confirmed upon subdivision to establish the type of onsite effluent disposal system required for each lot.

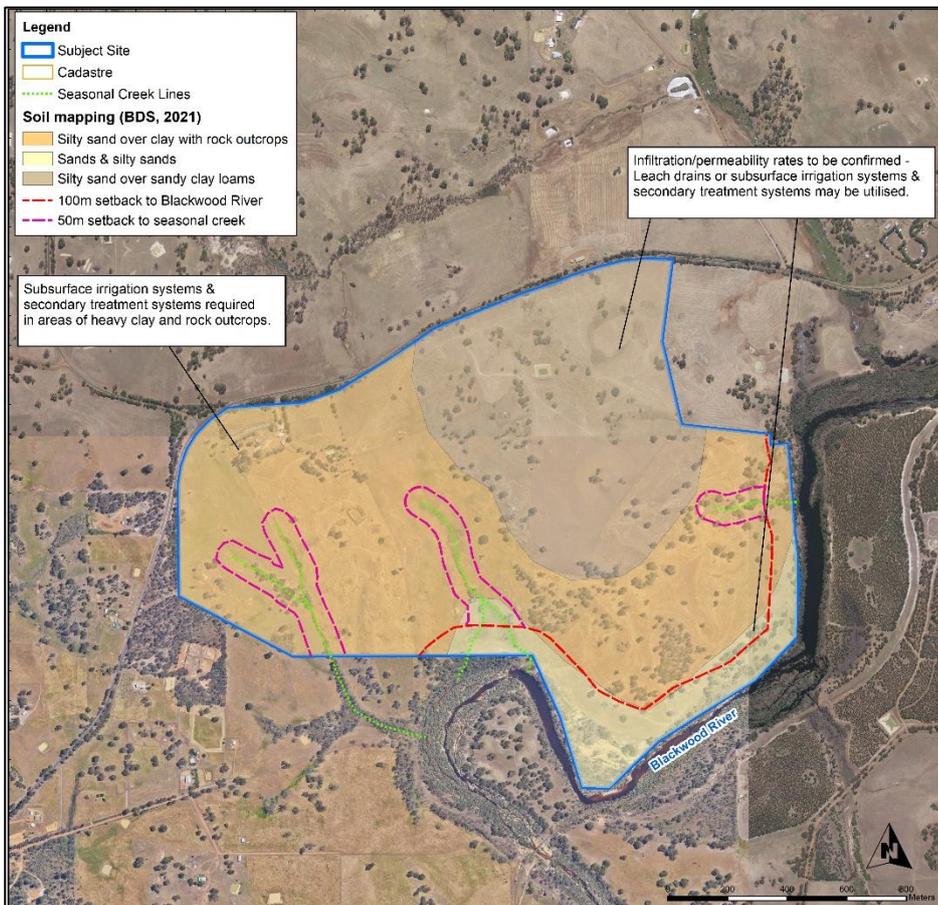


Figure 6: Onsite effluent disposal requirements and constraints

5 Local Water Management Strategy

5.1 Water Sustainability Initiatives

5.1.1 Water Supply

Water supply to households is to be via extension of the scheme water system. The project civil engineer will negotiate the extension of the system with Water Corporation Western Australia.

5.1.2 Water Efficiency Measures

To achieve water efficiency targets, households are to be built consistent with current BCA water efficiency standards. Water efficiency initiatives are proposed to reduce potable water demand for irrigation of residential lots. These include encouragement of:

- Minimising turf areas;
- Selection of predominantly local native, drought tolerant plants;
- Use of waterwise gardens, restricted lawn areas and water wise lawn varieties;
- Use of rainwater tanks, and
- Community education initiatives on water conservation and reuse.

5.2 River Foreshore Management

As part of the LWMS the following key measures will be implemented to ensure the adjacent Blackwood River will not be negatively impacted by the proposed development;

- The first 15mm of runoff from the internal road network during storm events will be retained, treated and infiltrated within the Subject Site;
- Post development outflows from storm events up to the peak 20% Annual Exceedance Probability (AEP) will be maintained to pre-development outflows;
- The general post-development hydrology of the site will be consistent with the pre-development hydrology; and
- Land application areas for onsite effluent disposal will be located a minimum of 100m from the outer edges of the riparian zone of the Blackwood River.

5.3 Stormwater Management

5.3.1 Design Capacity

The stormwater management system for the development has been designed in accordance with the guidelines of the DWER through the Better Urban Water Management framework and the requirements of the Shire of Boyup Brook. The stormwater drainage system has been designed using a major/minor approach.

The stormwater drainage system is designed to manage a range of rainfall events up to 1% AEP. The major drainage system is designed for rainfall events greater than the 20% AEP, up to the 1% AEP.

The major system uses overland flow paths, which includes grading the road network to direct flow to the lowest point of the catchment for flood mitigation.

The minor drainage system has capacity for frequent rainfall events up to the 20% AEP and includes the pipe drainage system, soak wells and bioretention storage areas. The minor drainage system is designed to also provide the structural controls for water quality treatment.

5.3.1 Stormwater Modelling

The stormwater modelling has been completed utilising the Rational Method and the Boyd method. A critical design criterion for both these methods includes the runoff coefficients. The pre-development and post-development runoff coefficients assumed for the Subject Site are shown in Table 7.

Table 7: Runoff coefficients

LAND USE	RUN OFF COEFFICIENT		
	First 15mm	20% AEP	1.0% AEP
Agricultural land	0	0.1	0.2
Road Reserve	0.7	0.8	0.8
Lots	0	0.2	0.3
Bushland	0	0.1	0.1

The predevelopment site exists as six defined catchments and is modelled post development as six catchments. The predevelopment and post development catchments are shown on Figures 5 and 7. The total area of each catchment and the estimated land use area for each catchment is presented in Table 8. Due to the lack of a defined structure plan at the rezoning phase the post-development road reserve area has been assumed as 7% of the total of each catchment, it is our understanding that this is a conservative estimate.

Table 8: Predevelopment catchment areas

Land Use (ha)	Catchment					
	A	B	C	D	E	F
Pre-development						
Agricultural land (ha)	47.2	18.5	43.0	25.4	46.0	37.6
Bushland (ha)	1.7	-	-	4.1	-	-
Total Area (ha)	48.9	18.5	43.0	29.5	46.0	37.6
Post-development						
Road Reserve (ha)	3.3	1.3	3.0	1.8	3.2	2.6
Lots (ha)	43.9	17.2	40.0	23.6	42.8	35
Bushland/POS (ha)	1.7	-	-	4.1	-	-
Total Area (ha)	48.9	18.5	43.0	29.5	46.0	37.6

Multiple storm events have been modelled utilising the Rational Method as described in Australian Rainfall and Runoff (AR & R) (Engineering Australia, 2001). Predevelopment outflow rates have been calculated based upon peak flow stream discharge as determined by Section 1.4 of AR & R.

Rainfall intensities for the various storm events and storm durations are calculated and provided by the Bureau of Meteorology (BoM) computerised design IFD Data System (www.bom.gov.au). Calculations have been undertaken utilising up to date IFD charts.

The Boyd equation has been utilised to calculate the stormwater storage volume required for each catchment based on the post-development outflow from the site and the allowable outflows set for the stormwater storages based on the peak pre-development outflow. The Boyd equation is considered a conservative estimate of stormwater storage volume calculation.

5.3.1 Minor Drainage System

The minor drainage system is defined as the series of swales, kerbs (flush or no kerb), pipes and gutters designed to convey runoff generated by minor storms up to and including the 20% AEP storm event. The minor drainage system incorporates a treatment train of best management practice (BMP) water quality structural controls such as vegetated storage systems that provide water quality treatment in the Subject Site.

Key elements of the minor drainage system strategy are as follows:

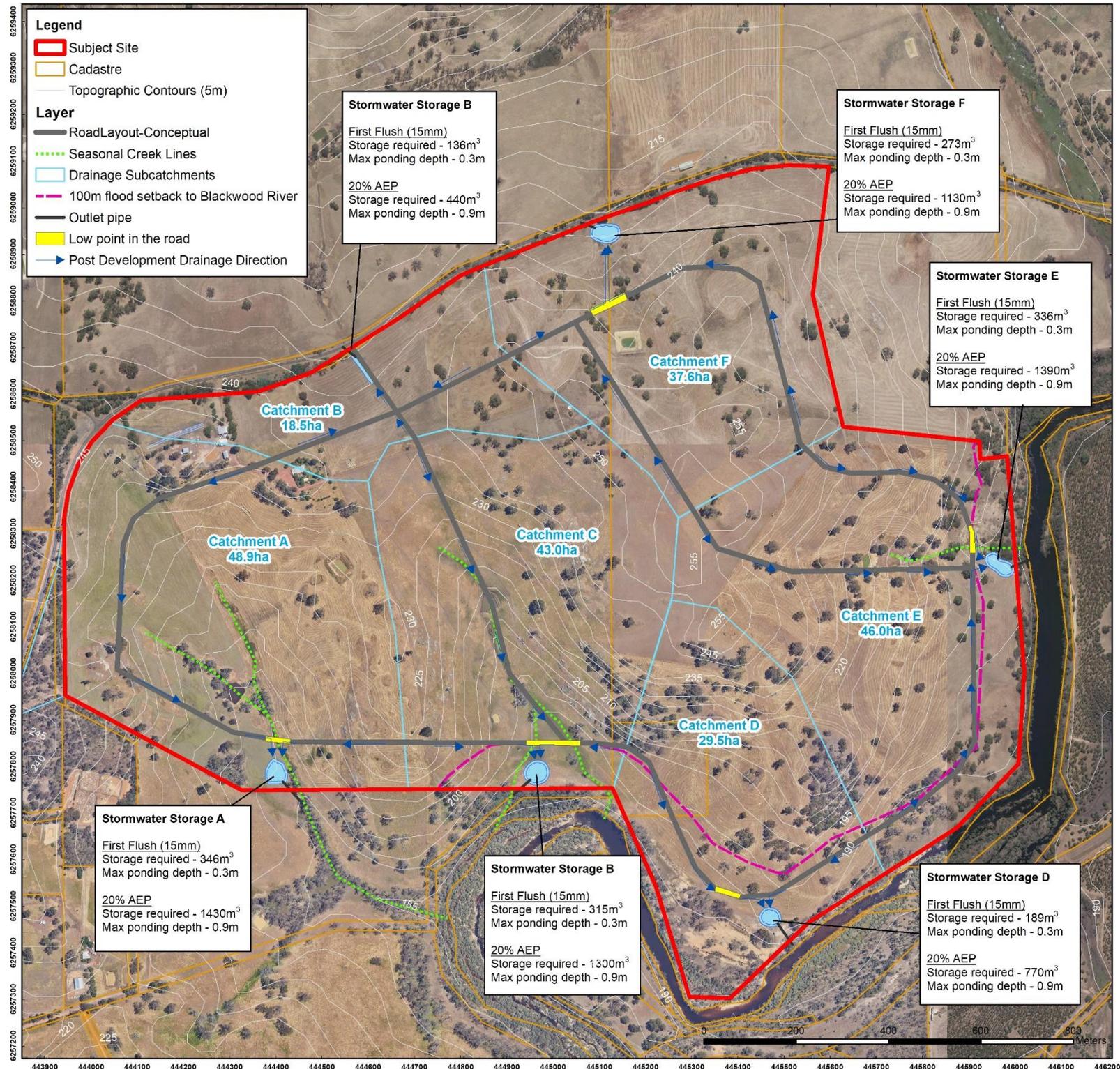
- Soakwells and/or rainwater tanks shall be adopted for lot drainage provided to infiltrate or store the first 15mm of rainfall on the lots;
- Drainage treatment train utilising roadside swales and bioretention storages designed to treat the first 15mm of rainfall, by providing infiltration at source. Swales and bio-retention storages shall be designed to convey up to the 20% AEP storm event;
- Where required, pipe drains sized to convey runoff from the 20%AEP storm event;
- The base of the bio-retention storages will be underlain with 0.5m depth of amended soil and planted. The specifications for the amended soil and the planting are provided in Section 5.5;
- Outflow from the bio-retention storage will be set at the top water level from the first 15mm runoff event, this is generally set at 0.3m depth to allow for adequate water quality treatment. Outflow will be via an outlet pipe sized to match the peak pre-development outflow from the 20% AEP event; and
- The maximum side slopes of the bio-retention storages will be 1:6. The maximum depth of the bio-retention storage will be 0.9m.

The base of the stormwater storage/swale will be treated with amended soils and vegetation to provide a treatment zone as stormwater is conveyed through the corridor. The base area will be a minimum of 2% of the connected impervious area (road area) to provide sufficient treatment capacity.

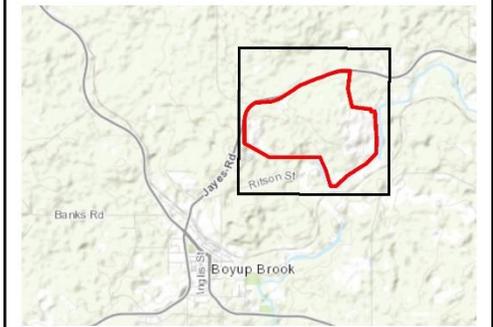
The First 15mm and the 20% AEP storage requirements are presented in Table 9. The minor stormwater management plan for the Subject Site is shown on Figure 10.

Table 9: Minor Drainage System Requirements

	Catchment					
	A	B	C	D	E	F
First 15mm						
Runoff Volume (m ³)	346	136	315	189	336	273
Storage Volume required (m ³)	346	136	315	189	336	273
Ponding Depth (m)	0.3	0.3	0.3	0.3	0.3	0.3
20% AEP						
Critical Storm Duration (hours)	1	0.5	1	1	1	1
Storm Duration Runoff Volume (m ³)	2,470	750	2,220	1400	2370	1930
Storage Volume (m ³)	1,430	440	1,300	770	1,390	1,130
Ponding Depth (m)	0.9	0.9	0.9	0.9	0.9	0.9
Peak Outflow from Storage (m ³ /s)	0.29	0.17	0.25	0.17	0.27	0.22



Albany Office: 29 Hercules Crescent, Albany, WA 6330, (08) 9842 1575
 Denmark Office: 7/40 South Coast Highway, Denmark, WA 6333, (08) 9848 1309
 Esperance Office: 2A/113 Dempster Street, Esperance, WA 6450



Scale
 1:8,000 @ A3
 GDA MGA 94 Zone 50

Data Sources
 Aerial Imagery: WA Now, Landgate Subscription Imagery
 Cadastre, Relief Contours and Roads: Landgate 2017
 IRIS Road Network: Main Roads Western Australia 2017
 Overview Map: World Topographic map service, ESRI 2012

CLIENT
 Leafield Pty Ltd
 Lot 51, 1007, 118 Boyup Brook - Arthur Rd
 Boyup Brook, WA 6330

Figure 7: Stormwater Management System

	QA Check CC	Drawn by CC
STATUS FINAL	FILE EPP008	DATE 19/08/2021

5.3.1 Major Drainage System

The major drainage system includes the use of roads, swales, drainage reserves and open spaces to provide safe passage of stormwater runoff from major storm events greater than the 20% AEP up to the 1%AEP. The major drainage system is described below:

- Roads graded to direct flow overland to the lowest point in each catchment. The ultimate road low point will be adjacent to public open space (POS). Low points in the site catchments are predominantly along the Blackwood River foreshore however one POS area will be required in the northeast of the Subject Site to accommodate the drainage from this portion of the site. Road drainage from storm events greater than the peak 20% AEP event up to the peak 1% AEP event will discharge unattenuated towards the Blackwood River or Boyup Brook - Arthur Road drainage system. The major event overland flow is designed to bypass the bio-retention storage areas to prevent scouring and washout of these structures;
- All building pad finished levels will have a minimum 0.5 m clearance above the estimated 100yr ARI flood level in the road and POS; and
- A 100m setback is required between the 2021 flood level in the Blackwood River and building envelopes.

The major drainage system for the Subject Site is shown on Figure 7.

5.4 Groundwater Management

The groundwater management objectives for the Subject Site are to:

- Manage groundwater levels to protect infrastructure and assets;
- Maintain groundwater regimes for the protection of groundwater dependent ecosystems;
- Protect the value of groundwater resources; and
- Adopt nutrient load reduction design objectives for discharges to groundwater.

The following strategies will be implemented for the proposed development of the Subject Site to ensure the above objectives are met:

- To protect infrastructure from high seasonal groundwater levels imported fill will be required to achieve the minimum separation of 2 metres between finished building level and the average annual maximum ground water level;
- Where the development finished level is less than 2.0m above the average annual maximum groundwater level subsoil drains will be required; and
- Clay soils found below bio-retention storage areas should be excavated and removed prior to installation of amended soil media to prevent perching of water within the storages.

Groundwater perching was evident in the west of the Subject Site where groundwater levels were seen near surface. The groundwater strategies above shall be utilised in these areas to ensure protection of infrastructure and groundwater resources. Groundwater was not encountered to 2 meters during the late winter site investigation in the north, east and south of the Subject Site and therefore groundwater management strategies may not be required here. Groundwater levels across the site should be confirmed prior to development to establish average annual maximum groundwater levels.

5.5 Water Quality Management

The effective implementation of the structural and non-structural controls as part of the development will enhance water quality from this site as a result of the land use change from agricultural to rural residential.

The Subject Site uses a treatment train of structural and non-structural controls to treat up to the first 15mm of rainfall from storm event.

Structural controls include the use of:

- Soakwells (where soil media allows) which will be used to infiltrate runoff from rooves and infiltrate stormwater at source. Infiltration of storm water at source allows for treatment of water as it moves through the soil profile.
- Bio-retention storages which will receive runoff from the development's internal road network. Bio-retention storages are designed to treat the first flush event (first 15mm) and convey up the 20% AEP storm event. Bio-retention storages will allow for infiltration at source, they will be underlain with amended soil and planted to allow for plant root uptake of nutrients and heavy metals. The minimum specifications for all bio-retention storages are presented in Table 10.

Table 10: Minimum requirements for bio-retention swales

Item	Specification
Amended soil media	<ul style="list-style-type: none"> • Well graded sand. • Clay and silt content <3%. • Organic content between 3 and 5%. • Hydraulic Conductivity (sat) >150mm/hour. • Light compaction only. • Infiltration testing of material prior to installation and again once construction is complete. On-going testing as per the monitoring program.
Plant selection	<ul style="list-style-type: none"> • In accordance with Vegetation Guidelines for Stormwater Biofilters in the South-West of WA (Monash University, 2014). • Tolerant of periodic inundation and extended dry periods. • Spreading root system. • Preferential selection of endemic and local native species. • Planting to provide 70-80% coverage at plant maturity.
Planting density and distribution	<ul style="list-style-type: none"> • Planting density appropriate for species selection. • Even spatial distribution of plant species.

The bio-retention systems should be sized to function correctly with a hydraulic conductivity (K) (saturated) of at least 3 m/day. Research conducted by the Facility for Advancing Water Biofiltration (FAWB, 2008) indicates that the desired K_{sat} is in the range of 2.5 to 7 m/day, to fulfil the drainage requirements as well as retain sufficient moisture to support the vegetation. The FAWB (2008) research also specifies that for vegetated systems some clogging will occur in the first few years until the vegetation is established. Once the plants are established, the roots and associated biological activity maintain the conductivity of the soil media over time.

Non-structural source controls to reduce nutrient export from the Subject Site will focus on reducing the need for nutrient inputs into the landscape. The following strategies are proposed;

- Promotion of the use of local native plants for landscaping to new lot owners. The use of local native plants will reduce the need for fertilisers across the site; and
- Undertake education campaigns regarding source control practices to minimise pollution runoff into stormwater drainage system.

6 Implementation

6.1 Construction Management

Any temporary stormwater storage required during construction will be built where the final storage area will be located. The temporary storage will be sized to contain the ultimate capacity of stormwater runoff from the connected area. Measures will be taken to prevent the transportation of sediment during the construction phase including infiltrating at source where possible and sand bagging/rock placement at the inlet of any pipe systems discharging outside the Subject Site. Remedial measures will be undertaken by the developer if any disturbances to the Blackwood River foreshore area are caused during construction.

6.2 Maintenance of Drainage Systems

The bio-retention storage areas and drainage system will require regular maintenance to ensure its efficient operation. It is considered the following operating and maintenance practices will be required and undertaken by the client periodically until successful practical completion of the development and handover to the Shire of Boyup Brook. Following handover, it is the Shire's responsibility to maintain drainage structures accordingly:

- Removal of debris to prevent blockages;
- Maintenance of vegetation in bio-retention systems/ storages; and
- Cleaning of sediment build up and litter layer on the bottom of storages.

6.3 Monitoring Program

The monitoring program has been designed to allow a quantitative assessment of hydrological impacts of the proposed development.

6.3.1 Hydraulic Performance Monitoring

The hydraulic performance monitoring will aim to measure the movement of storm water through the stormwater storage structures to determine if stormwater conveyance is consistent with the intended design.

Where amended soil profiles have been installed in the bio-retention storage, infiltration testing shall be completed to test the hydraulic conductivity of the media. Testing should be repeated every 12 months to ensure clogging of the storages does not occur.

Water levels in the stormwater storage shall be observed during significant storm events to ensure stormwater storage is consistent with design and not overflowing.

6.3.2 Groundwater Monitoring

A series of groundwater monitoring bores shall be established across the Subject Site to determine pre-development groundwater levels. It is recommended a minimum of 11 monitoring bores be established on the Subject Site. The recommended location of the groundwater monitoring bores is shown on Figure 8.

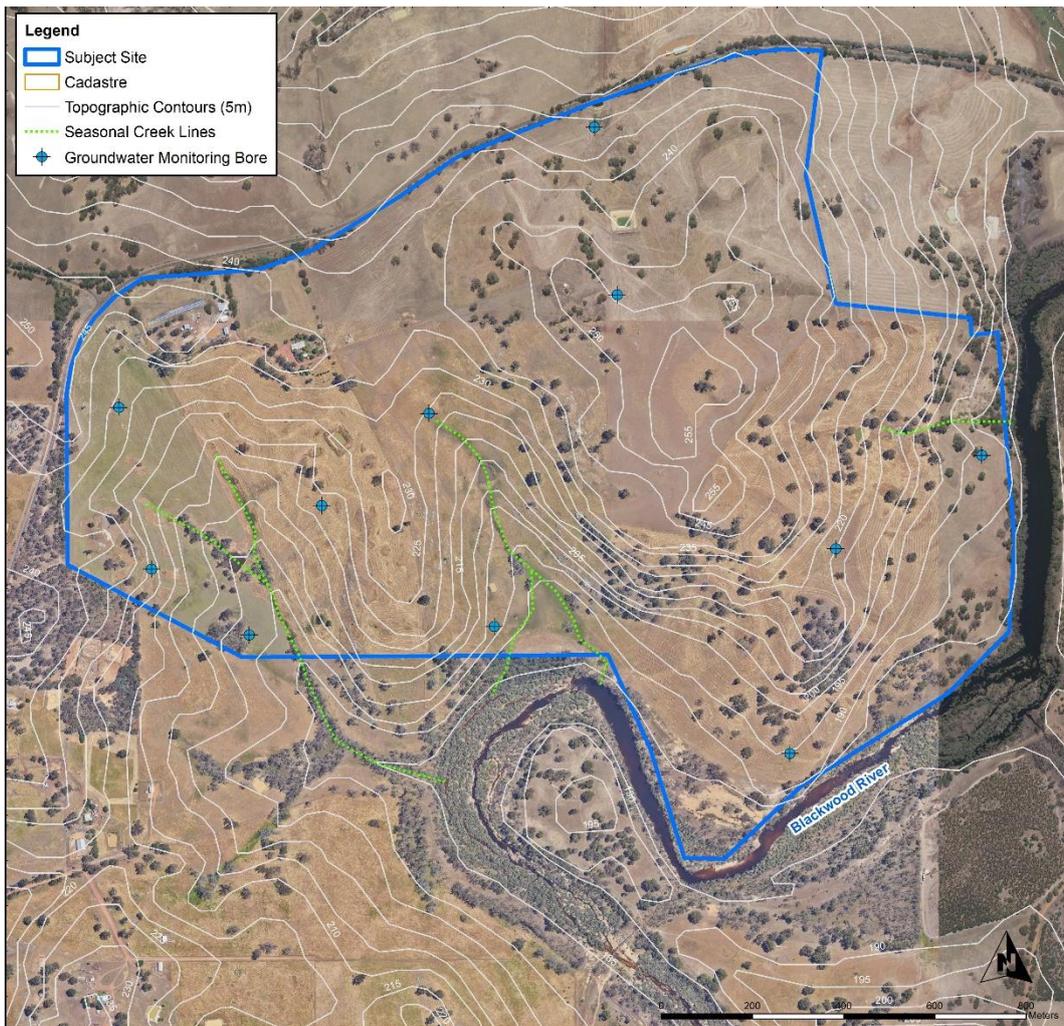


Figure 8: Groundwater Monitoring Locations

Groundwater levels shall be measured quarterly and include two late winter periods prior to development to establish baseline groundwater level data. Two years of post-development groundwater level monitoring (quarterly) shall be conducted with results compared to pre-development levels. If groundwater levels are found to exceed pre-development groundwater levels by more than 500mm for a period of more than 3 months a review of the development design and operations will be required and alterations/modifications to the development will be conducted to reduce groundwater levels accordingly.

7 References

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ATTACHMENT 6



BUSHFIRE MANAGEMENT PLAN

**Lot 51, 1007 & 1118 Boyup Brook-
Arthur Road, Boyup Brook
Shire of Boyup Brook**



Prepared by Ralph Smith
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smith.consulting@bigpond.com
0458 292 280

Site visited 29 March 2021; Report completed 5 December 2022

Bushfire management plan/Statement addressing the Bushfire Protection Criteria coversheet

Site address:

Site visit: Yes No

Date of site visit (if applicable): Day Month Year

Report author:

WA BPAD accreditation level (please circle):

Not accredited Level 1 BAL assessor Level 2 practitioner Level 3 practitioner

If accredited please provide the following.

BPAD accreditation number: Accreditation expiry: Month Year

Bushfire management plan version number:

Bushfire management plan date: Day Month Year

Client/business name:

	Yes	No
Has the BAL been calculated by a method other than method 1 as outlined in AS3959 (tick no if AS3959 method 1 has been used to calculate the BAL)?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Have any of the bushfire protection criteria elements been addressed through the use of a performance principle (tick no if only acceptable solutions have been used to address all of the bushfire protection criteria elements)?	<input type="checkbox"/>	<input checked="" type="checkbox"/>

	Yes	No
Is the proposal any of the following (see SPP 3.7 for definitions)?		
Unavoidable development (in BAL-40 or BAL-FZ)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Strategic planning proposal (including rezoning applications)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Minor development (in BAL-40 or BAL-FZ)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
High risk land-use	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Vulnerable land-use	<input type="checkbox"/>	<input checked="" type="checkbox"/>

None of the above

Note: Only if one (or more) of the above answers in the tables is yes should the decision maker (e.g. local government or the WAPC) refer the proposal to DFES for comment.

Why has it been given one of the above listed classifications (E.g. Considered vulnerable land-use as the development is for accommodation of the elderly, etc.)?

The information provided within this bushfire management plan to the best of my knowledge is true and correct:

Signature of report author Date

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Full Content Detail

Document control

Report Version	Purpose	Author/reviewer and accreditation details	Date Submitted
1	Support the development application	Ralph Smith	28 April 2021
1.1	Support the Structure Plan and Scheme Amendment	Ralph Smith	3 June 2021
1.2	Revised maps and text	Ralph Smith	5 December 2022

DISCLAIMER

This Bushfire Management Plan has been prepared in good faith. It is derived from sources believed to be reliable and accurate at the time of publication. Nevertheless, this plan is distributed on the terms and understanding that the author is not responsible for results of any actions taken based on information in this publication or for any error or omission from this publication.

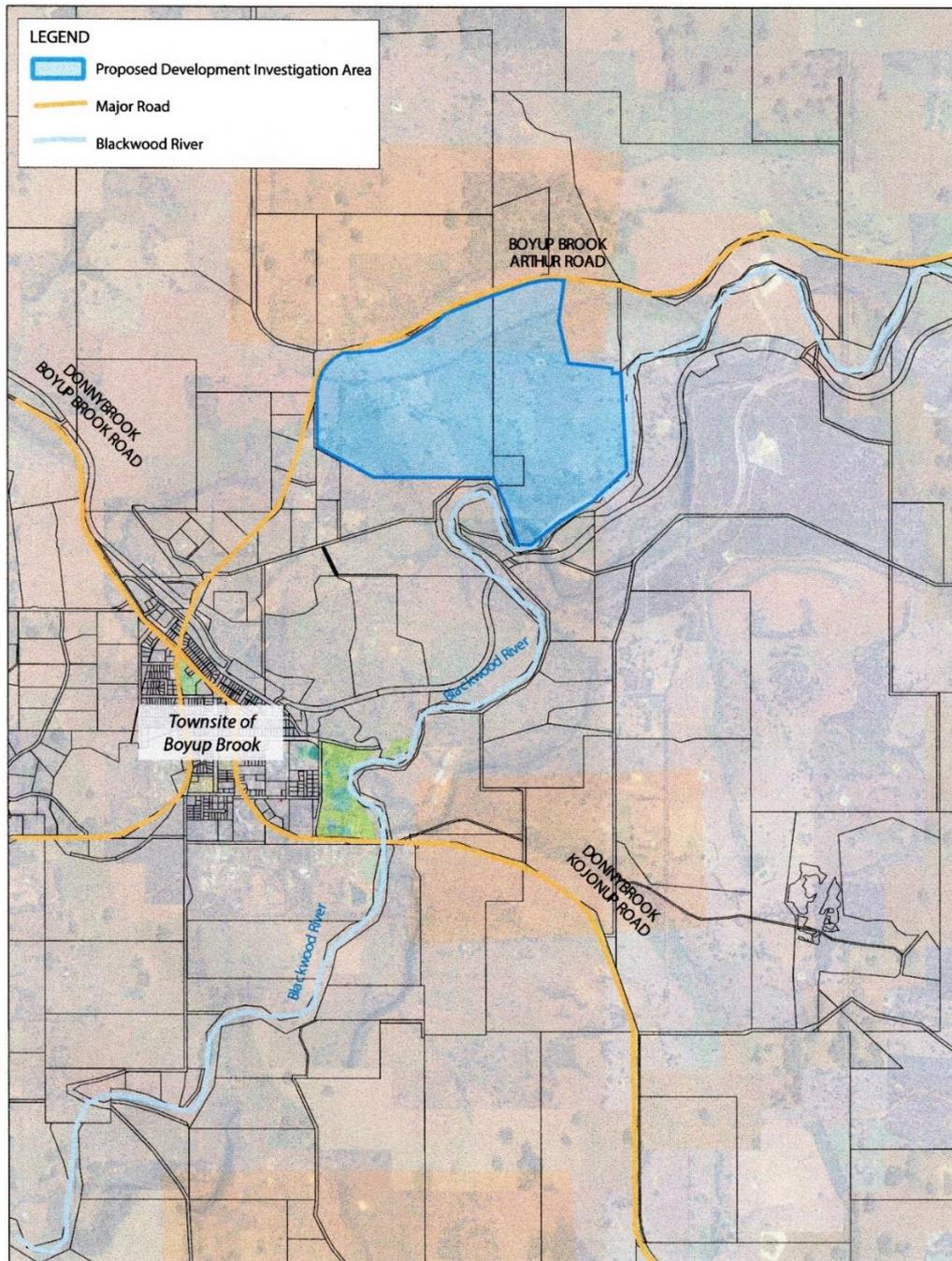
Smith Bushfire Consultants Pty Ltd has exercised due and customary care in the preparation of this Bushfire Management Plan and has not, unless specifically stated, independently verified information provided by others.

Any recommendations, opinions or findings stated in this report are based on circumstances and facts as they existed at the time Smith Bushfire Consultants Pty Ltd performed the work. Any changes in such circumstances and facts upon which this document is based may adversely affect any recommendations, opinions or findings contained in this plan.

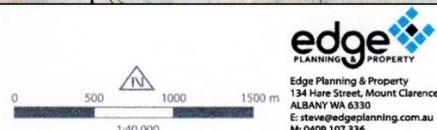
Section 1: Proposal Details

The site is located within two kilometres of the Boyup Brook townsite. It abuts the Blackwood River. The site is undulating with the maximum slopes being around seven degrees. The vegetation is principally grassland with some pockets of tree overstorey, and the site is currently grazed. The entire site is not declared as bushfire prone and therefore AS 3959 construction standards for the future dwellings do not apply within these areas.

This project is at the structure plan and scheme amendment stage. The proponent will be seeking to rezone the site from 'Rural' to 'Residential R5' and 'Rural Residential'. This will be a staged development where high risk uses are not proposed, and the access issues will be addressed at the subdivision application stage.



LOCATION PLAN - PROPOSED DEVELOPMENT INVESTIGATION AREA
 Boyup Brook - Arthur Road
 Boyup Brook



edge
 PLANNING & PROPERTY
 Edge Planning & Property
 134 Hare Street, Mount Clarence
 ALBANY WA 6330
 E: steve@edgeplanning.com.au
 M: 0409 107 336

Figure 1. The copy of the site plan as provided with the structure plan/scheme amendment.

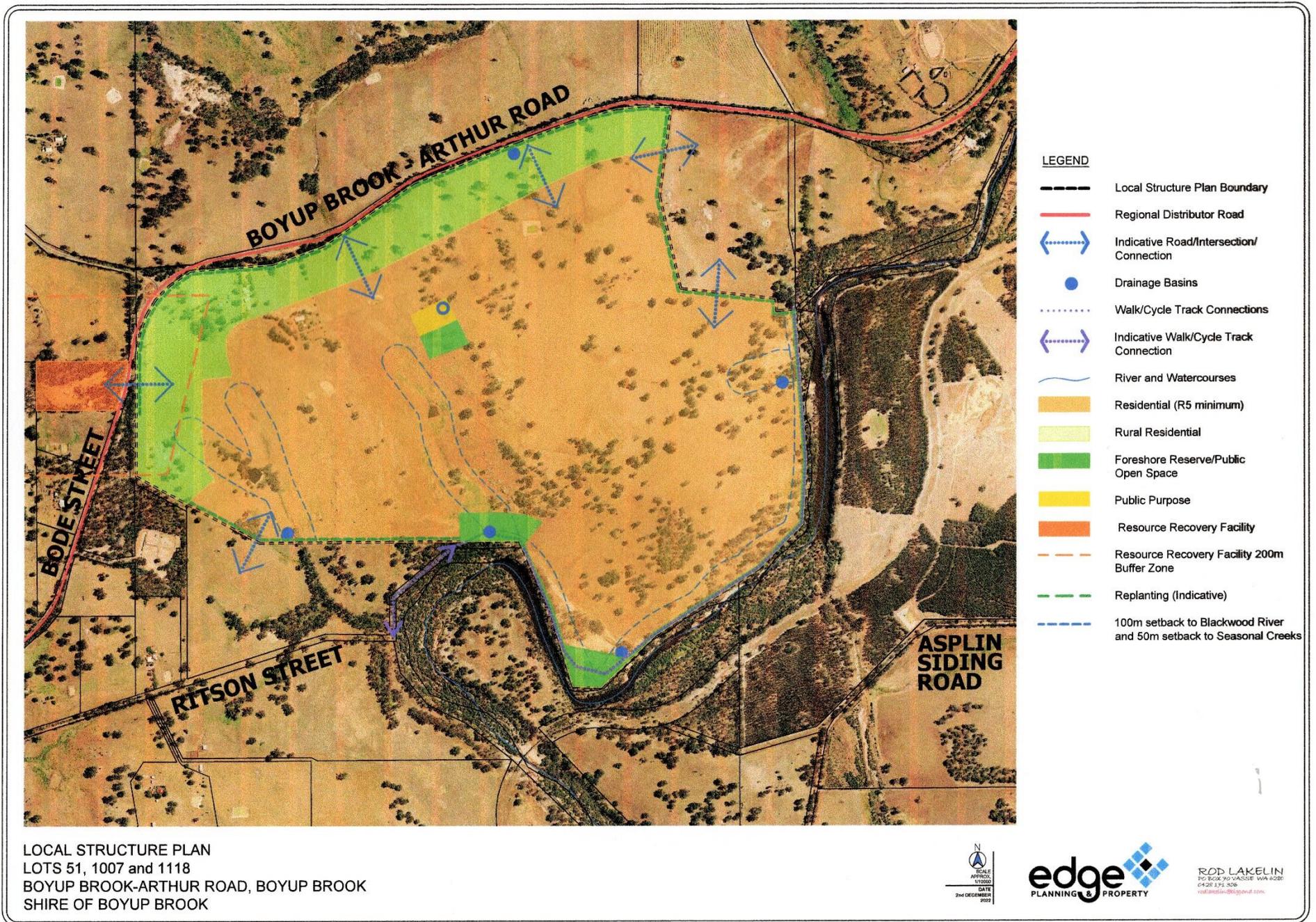


Figure 2. The copy of the local structure plan.



Figure 3. Screen shot of map of bushfire prone areas for the subject site.

The proposal is to develop the current large lots and create a number of smaller new lots. One lot will contain the current house, garage and other built assets. It is proposed that the new lots will also ultimately have new dwellings located on them.

This project is at the structure plan and scheme amendment stage. The proponent will be seeking to rezone the site from 'Rural' to 'Residential R5' and 'Rural Residential'. The scope of this report did not therefore support BAL Contour mapping which will be undertaken at a later stage of planning. Not all of the site is declared bushfire prone.

Section 2: Environmental Considerations

The State Planning Policy 3.7 recognises the need to consider bushfire risk management measures alongside environmental, biodiversity and conservation values. A desktop search has identified that the following are not registered for the development site or immediately surrounding area:

- Threatened and priority flora;
- Threatened and priority fauna;
- Contaminated site registration;
- Clearing Regulation – Environmental Sensitive area.

The desktop search also identified that the following cultural issues are not registered for the development site or immediately surrounding area, except for the Blackwood River and adjacent terrestrial land:

- Aboriginal heritage site;
- Watercourse on the site is impacted by Aboriginal heritage;
- Heritage Council site.

Subsection 2.1: Native Vegetation – modification and clearing

There will not be a need to clear significant areas of native vegetation as a component of this development. Future lots and dwellings will generally adapt to retaining existing native vegetation, with areas of cleared land provided as Asset Protection Zones (APZ) on the 'Rural Residential' lots and 'Residential R5' will probably be cleared and then domestic gardens established. There are significant areas of introduced pasture grass on the site that are currently grazed. The tree overstorey coverage on the site is in the main sparse and constitutes less than 10% overstorey coverage and is principally native species. There are two pockets within the development site, being a woodland area and a forest pocket.

Subsection 2.2: Re-vegetation/Landscape Plans

Relatively small areas of the sparse current overstorey and grass vegetation may be removed during the development and construction of the future dwellings and APZ. There may be cultivated gardens developed once people move into the dwelling, but this will not be a component of a site revegetation plan. There is expected to be some revegetation of water courses and the Blackwood River foreshore with native vegetation. Details to be progressed at the subdivision stage via management plans. Future development is required to take account of revegetation.

It is expected the subdivider will install street trees to enhance the site's amenity. The street trees are expected to be London Plane trees which have lower oil levels and are lower fire risks compared to most native vegetation.

Section 3: Bushfire Assessment Results

Any dwellings located on the new lots have all been assessed as being Bushfire Hazard Level (BHL) rated of moderate, which permits development, and a BAL rating of BAL-12.5 (or BAL-29 depending the slope) as the State requires an APZ. The vegetation that will need to be removed has been assessed as grassland or grassland under a sparse open woodland overstorey.

Subsection 3.1: Assessment Inputs

The assessment inputs are shown in the forthcoming pages and are supported by a vegetation assessment, photographic evidence and text to support the vegetation assessment and a BHL Assessment map.

Site Assessment

The assessment of the proposed subdivision was undertaken on 29 March 2021 for the purpose of determining the Bushfire Attack Level in accordance with AS 3959 (Method 1).

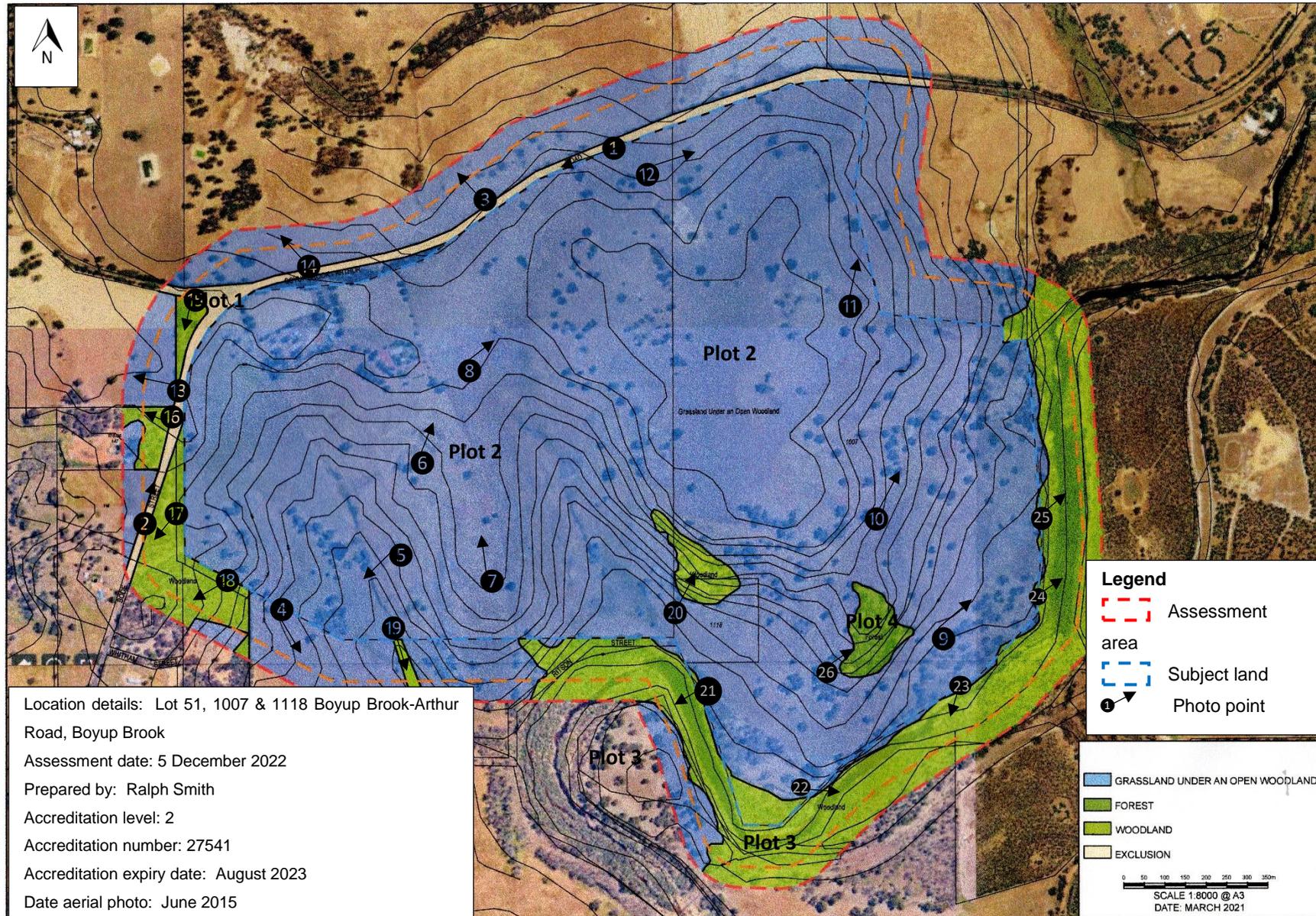


Figure 4. Vegetation Classification Map.

Vegetation Classification

All vegetation within 150 metres of the proposed subdivision as indicated on the site assessment plan was classified in accordance with the Western Australian Government criteria and Clause 2.2.3 of AS 3959 was applied. Each distinguishable vegetation plot with the potential to determine the Bushfire Attack Level is identified below. AS 3959 only requires consideration of 100 metres between vegetation and the building and 50 metres between vegetation and the building for grassland.

Plot 1

Exclusion – Low threat vegetation and non-vegetated areas.
Clause 2.2.3.2 (e).



Photo ID: Photo 1 Looking at the bitumen road that services the development site.



Photo ID: Photo 2 Looking at the bitumen road that services the development site.

Plot 2

Class G – Grassland under an open woodland (AS 3959 classification – G – 06)



Photo ID: Photo 3 Looking at the grassland with shelter trees north of the development site.



Photo ID: Photo 4 Looking at the grassland with shelter trees south-west of the development site.



Photo ID: Photo 5 Looking at the grassland with shelter trees on the subdivision site.



Photo ID: Photo 6 Looking at the grassland on the development site.



Photo ID: Photo 7 Looking at the grassland, granite rock and sparse shade trees on the development site.



Photo ID: Photo 8 Looking at the grassland under an open woodland on the development site



Photo ID: Photo 9 Looking at the grass and clump of trees.



Photo ID: Photo 10 Looking at the grassland under an open woodland on the development site.



Photo ID: Photo 11 Looking at the grassland under an open woodland and seeded area to the right.



Photo ID: Photo 12 Looking at the grassland and the single row of trees on the road verge



Photo ID: Photo 13 Looking at the grassland adjacent to the refuse site.



Photo ID: Photo 14 Looking at the grassland north of the development site.

Plot 3

Class B – Woodland (AS 3959 classification – B – 05)

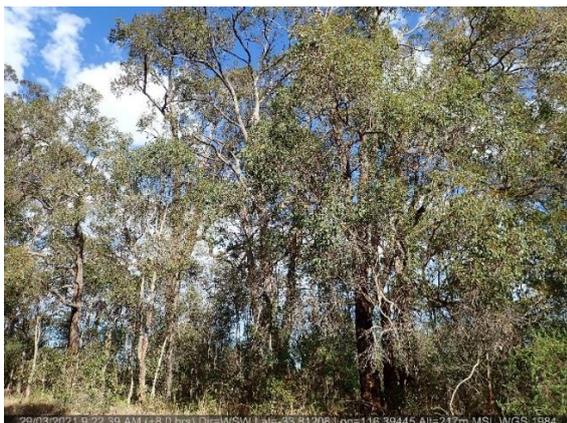


Photo ID: Photo 15 Looking at the isolated pocket of woodland north-west of the development site.



Photo ID: Photo 16 Looking at the pockets of woodland in the refuse site west of the development site.



Photo ID: Photo 17 Looking at the woodland vegetation on the neighbouring property to the west of the development site.



Photo ID: Photo 18 Looking at the woodland west of the development site.



Photo ID: Photo 19 Looking at the narrow strip of woodland south of the development site.



Photo ID: Photo 20 Looking at the woodland with an absence of a scrub understorey.



Photo ID: Photo 21 Looking at the woodland adjacent to the river.



Photo ID: Photo 22 Looking at the woodland in the riparian zone.



Photo ID: Photo 23 Looking at the woodland.



Photo ID: Photo 24 Looking at the woodland with a grass understorey.

Plot 4

Class A – Forest (AS 3959 classification – A – 03)



Photo ID: Photo 25 Looking at the forest with an absence of scrub.

Notes to Accompany Vegetation Classification

1. Plot 1

Exclusion – Low threat vegetation and non-vegetated areas
Clause 2.2.3.2 (e) and (f)

This plot comprises the roads on the boundary of the development site.

2. Plot 2

Class G – Grassland under an open woodland (AS 3959 classification – B – 06).

This plot comprises the pasture grass under an open woodland across the development site and neighbouring lots. This plot contains some relatively steep slopes but the slopes do not exceed 9°. The vast majority of this farm and the neighbouring farms have been used for farming purposes of grazing or cropping.

3. Plot 3

Class B – Woodland (AS 3959 classification – B – 05).

This plot comprises the woodland that is on the proposed development site and on the neighbouring land. It also includes the neighbouring lot to the west and south. The woodland to the south is adjacent to the Blackwood River. There is also a small isolated area of woodland located within the development site. The majority of the woodland plots comprise wandoo and also flooded gum, both recognised as woodland vegetation categories.

4. Plot 4

Class A – Forest (AS 3959 classification – A – 03).

The forest plot is a small area within the development site. It has been classified as a forest solely on the basis of the tree overstorey coverage being greater than 30%. This portion of the forest plot has an absence of the multi-tiered scrub understorey. In applying the precautionary principle it is important to determine the likelihood of the surface vegetation changing, and becoming a scrub vegetation in the short, mid or long term. It is highly improbable that the surface vegetation will be anything other than the grassland or simply leaf litter as there is an absence of seed in the soil and there is no seed source available within the nearby areas.

Location details: Lot 51, 1007 & 1118 Boyup Brook-Arthur Road, Boyup Brook
 Assessment date: 5 December 2022
 Prepared by: Ralph Smith
 Accreditation level: 2
 Accreditation number: 27541
 Accreditation expiry date: August 2023
 Date aerial photo: June 2015

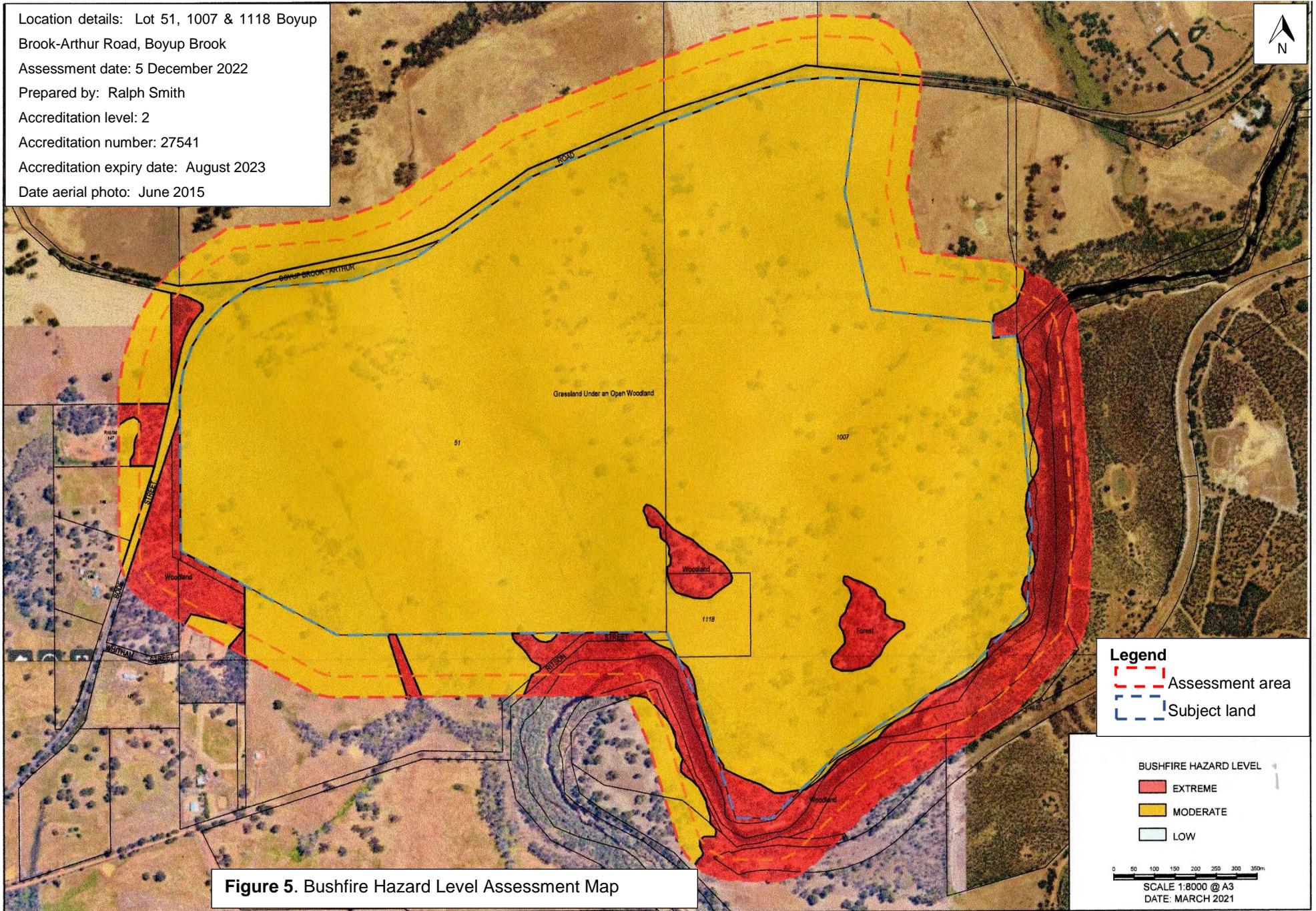


Figure 5. Bushfire Hazard Level Assessment Map

Slope

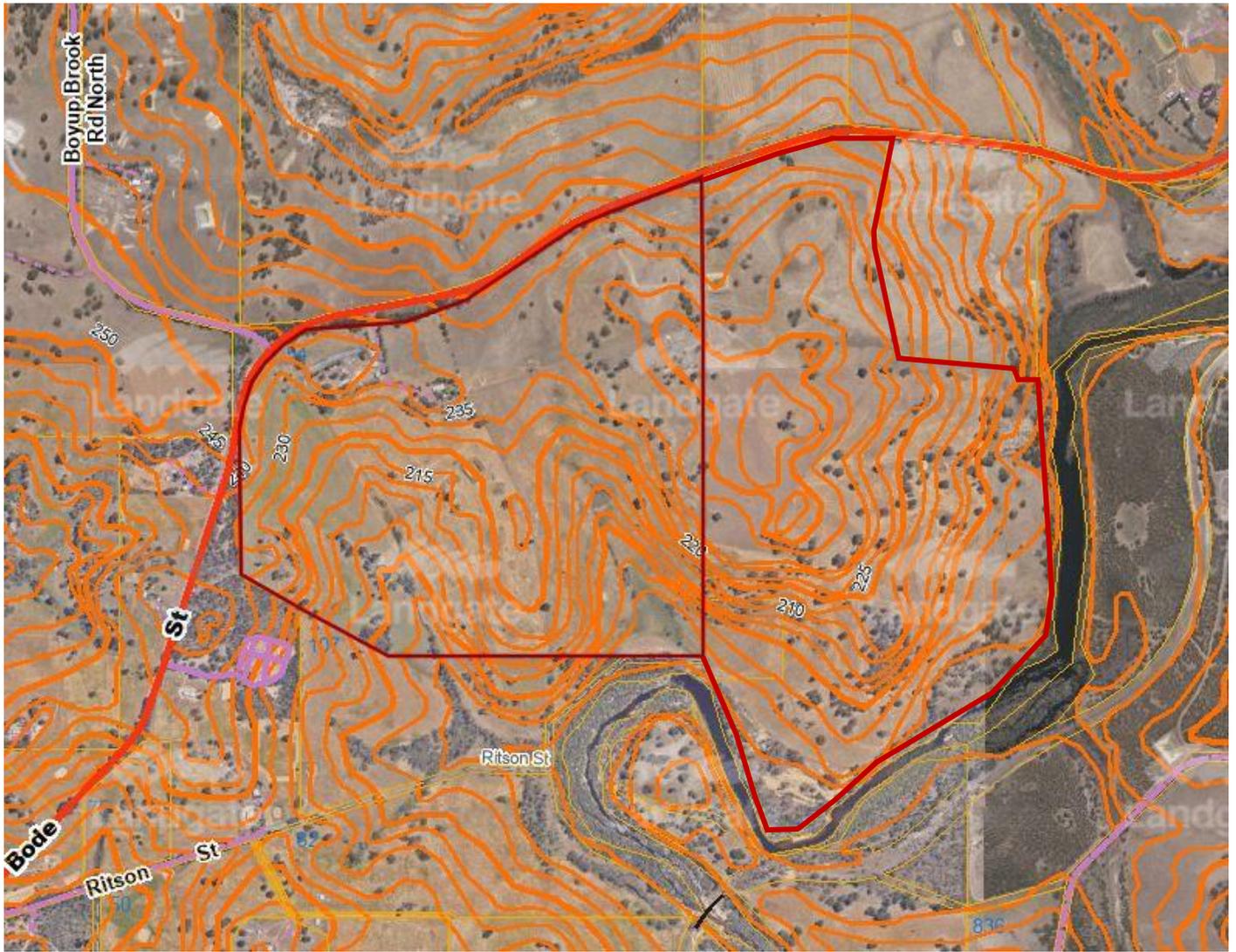


Figure 6. Five-metre contour lines.

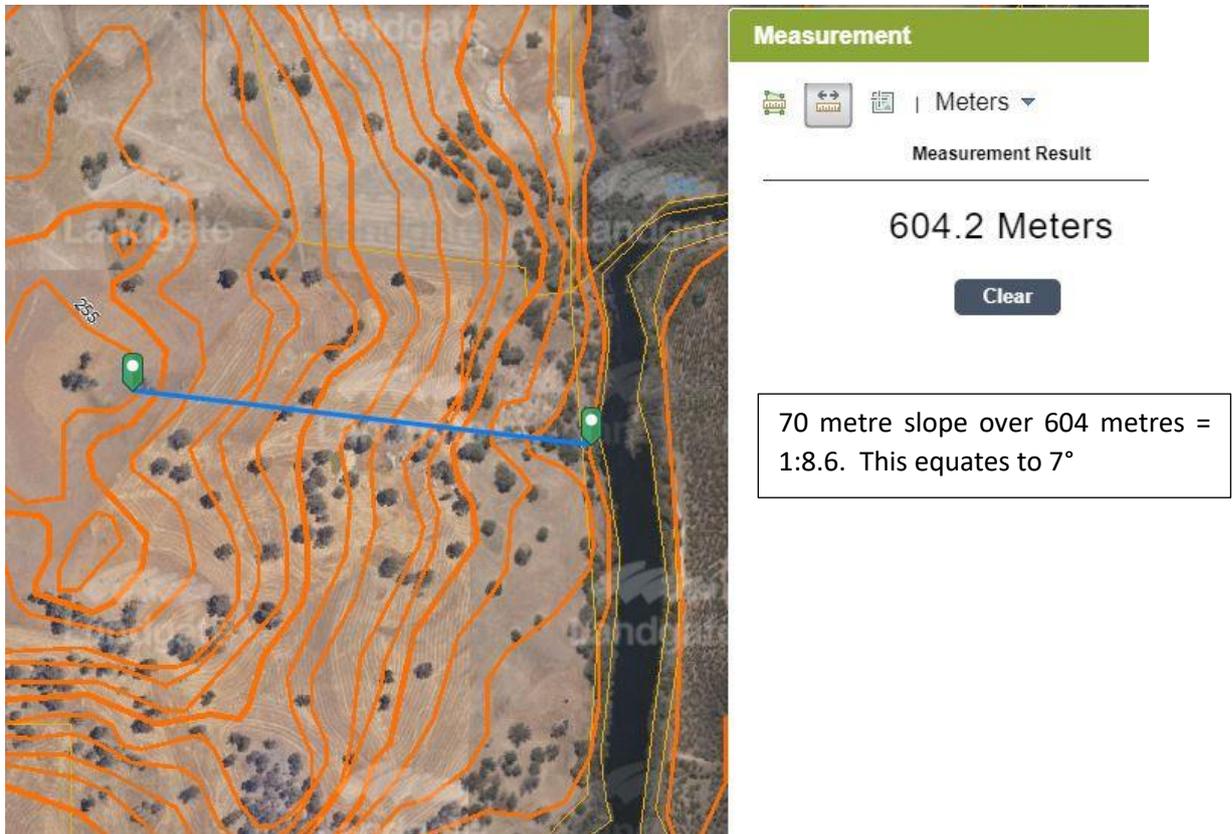


Figure 7. Slope to the north-east of the southern portion of the site.

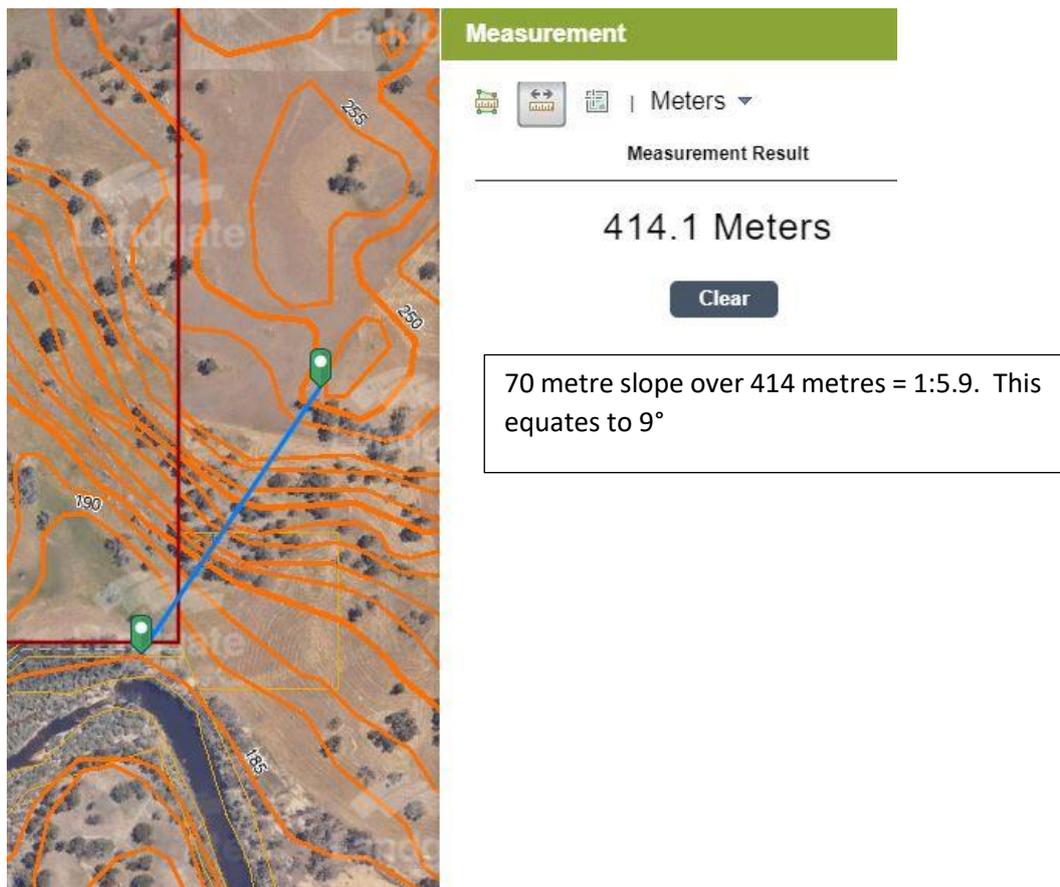


Figure 8. Slope in the southern portion of the site.

Subsection 3.2: Assessment outputs

Plot	Applied Vegetation Classification	Effective Slope Under the Classified Vegetation (degrees)	Separation Distance to the Classified Vegetation (metres)	BAL Contour
1	Exclusion – Low threat vegetation and non-vegetated areas Clause 2.2.3.2 (e) & (f)	Not applicable	Not applicable	LOW
2	Class G – Grassland under an open woodland	Slope impact is subject to dwelling location	Minimum 20 m	12.5
3	Class B – Woodland	Slope impact is subject to dwelling location	Minimum 20 m	12.5
4	Class A – Forest	Slope impact is subject to dwelling location	Minimum 21 m*	29

Note - * indicates that to achieve a BAL–29 rating requires a minimum separation between the forest vegetation and dwelling. This distance must increase if the forest is downslope of the dwelling. BAL–29 is the highest BAL rating that is supported by the State Government.

Section 4: Identification of bushfire hazard issues

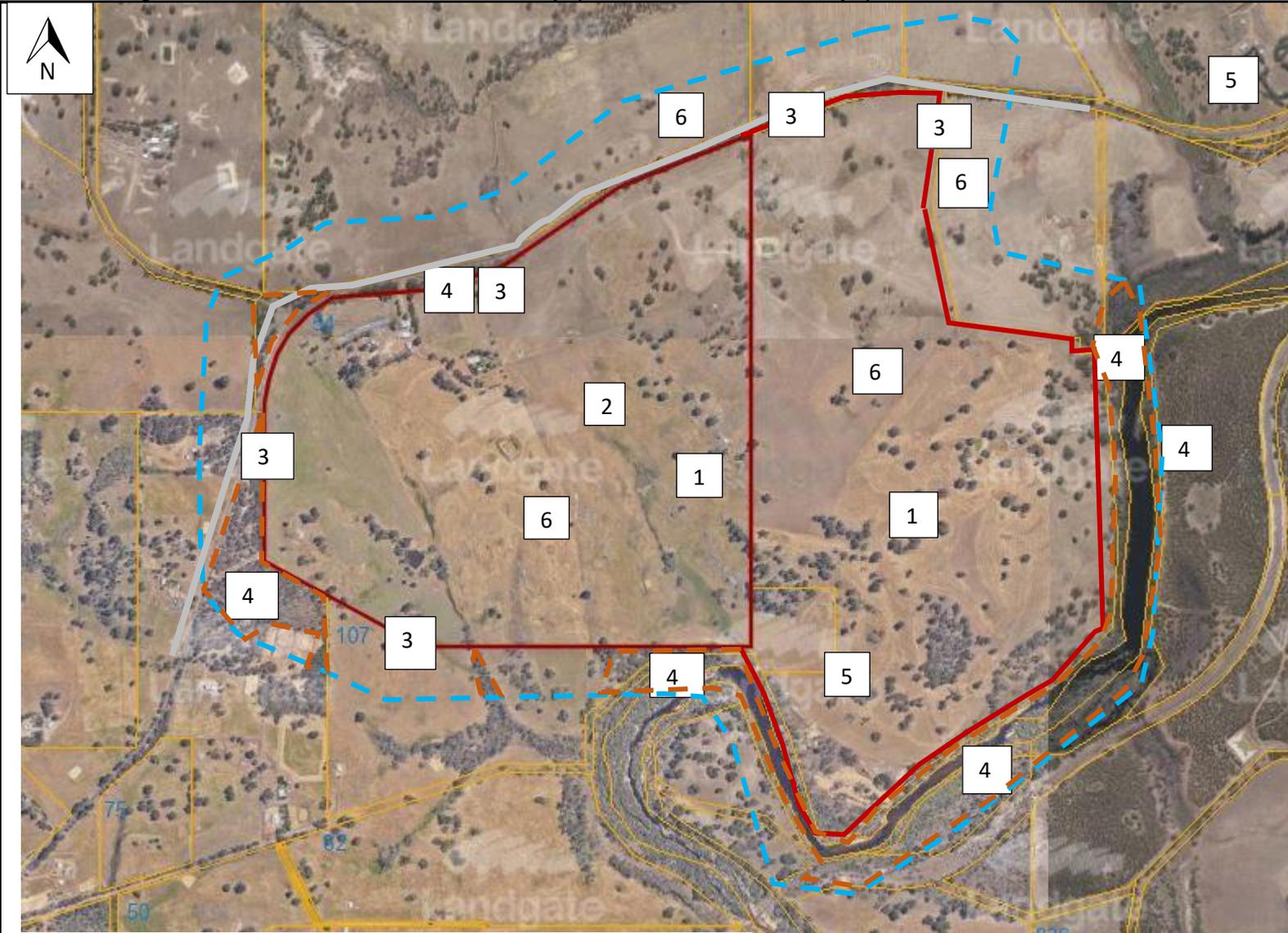
The most significant bushfire hazard is the extensive native vegetation associated with the forest and woodland on land neighbouring the development site. The slope on the development site is a potential bushfire hazard as access will be limited, until the proposed development and associated roads are constructed. The native vegetation could be sufficiently separated from any potential dwelling by ensuring that an APZ on the 'Rural Residential' lots is established and maintained, and the dwelling is constructed to the appropriate standard.

Future lots and dwellings will generally adapt to retaining existing native vegetation, with areas of cleared land provided as dwellings are constructed, new gardens established and APZ surround the dwellings where appropriate.

Section 5: Assessment against the Bushfire Protection Criteria

Subsection 5.1: Compliance Table

Bushfire protection criteria	Method of Compliance	Proposed bushfire management strategies
	Acceptable solutions	
Element 1: Location	A1.1 Development location	The potential future dwellings will be located in an area that is restricted to the BHL rating of moderate and the BAL rating will be BAL-29 or less.
Element 2: Siting and design	A2.1 Asset Protection Zone (APZ)	There is requirement through this BMP for a 20 metre APZ associated with any new dwellings within the subdivision.
Element 3: Vehicular Access	A3.1 Two access routes	Boyup Brook-Arthur Road provides multiple access options for the proposed new lots, and the future development road network.
	A3.2 Public road	Boyup Brook-Arthur Road and Bode Street are constructed. New roads associated with the development will be built to comply with the Guidelines. The indicative locations of the new roads connecting to Boyup Brook-Arthur Road and Bode Street are shown on the LSP.
	A3.3 Cul-de-sac (including a dead-end-road)	All roads will be constructed to comply with the State's Guidelines.
	A3.4 Battle-axe	All roads will be constructed to comply with the State's Guidelines.
	A3.5 Private driveway longer than 50 m A private driveway is to meet detailed requirements contained within the Guidelines.	It is anticipated that there will may be driveways longer than 50 m constructed with this subdivision. If there are they will be compliant with the Guidelines.
	A3.6 Emergency access way	Nil will be constructed with this subdivision.
	A3.7 Fire service access routes (perimeter roads)	A FSAR will be combined with the walk/cycle track along the river foreshore. Firebreaks will continue to be maintained in accordance with the Shire's firebreak order.
	A3.8 Firebreak width	During establishment, and after subdivision, firebreaks will be maintained to comply with the Shire's firebreak order.
Element 4: Water	A4.1 Reticulated areas	A reticulated scheme water system developed to comply with the State's requirements will be connected as a component of this development for the residential R5 areas. This includes fire hydrants. In the rural residential area there will not be reticulated scheme water.
	A4.2 Non-reticulated areas	In the rural residential zone there will not be reticulated scheme water. A firefighting water tank location is identified on the LSP. Each lot will have its own water supply
	A4.3 Individual lots within non-reticulated areas (Only for use if creating 1 additional lot and cannot be applied cumulatively)	Not applicable.



Location details: Lot 51, 1007 & 1118 Boyup Brook-Arthur Road, Boyup Brook
 Assessment Date: 5 December 2022
 Prepared by: Ralph Smith
 Accreditation level: 27541
 Accreditation expiry date: August 20213
 Date of aerial photo: January 2015
 Version No: 1.2

Figure 9. Spatial representation of bushfire management strategies.

LEGEND

- Subject land 
- Hazard vegetation 
- 150m assessment zone 
- Sealed roads 

REQUIREMENTS

1. The residential (R5) component of the site will be serviced by a reticulated scheme water system developed to comply with the State's requirements. It will be connected as a component of this development. This includes fire hydrants.
2. There is a requirement for a 20 m APZ on the new dwellings within the (R5) subdivision but will be required on the 'Rural Residential' larger lots.
3. Alternative bitumen access options are available and will be developed. Indicative locations are shown.
4. This is the principle hazard vegetation.
5. There is no slope of 10° or greater.
6. Grassland vegetation.

Section 6: Responsibilities for Implementation and Management of the Bushfire Measures

This section is to set out the responsibilities of the developer/s, landowner/s and local government with regards to the initial implementation and ongoing maintenance of the required actions.

DEVELOPER – PRIOR TO ISSUE OF TITLES		
No.	Implementation Action	Subdivision Clearance
1	<p>A notification pursuant to Section 165 of the <i>Planning and Development Act 2005</i>, is to be placed on the certificate(s) of title of the proposed lot(s) with a Bushfire Attack Level (BAL) rating of 12.5 or above, advising the existence of a hazard or other factor.</p> <p>Notice of this notification is to be included in the diagram or plan of survey (deposited plan).</p> <p>The notification is to state as follows:</p> <p><i>“This land is within a bushfire prone area as designated by an Order made by the Fire and Emergency Services Commissioner and is subject to a Bushfire Management Plan. Additional planning and building requirements may apply to development on this land”</i> (Western Australian Planning Commission).</p>	
2	Comply with the relevant local government annual firebreak notice issued under s33 of the Bush Fires Act 1954.	
3	The developer will be responsible for extending reticulated scheme water network into the nominated section of the development that is compliant with the State’s requirements.	
LANDOWNER/OCCUPIER – ONGOING		
No.	Management Action	
1	Comply with the relevant local government annual firebreak notice issued under s33 of the Bush Fires Act 1954.	

Appendix 1

Vehicle access technical requirements extract from the Guidelines for vehicle access (page 76) and private driveways longer than 50 metres (page 75). This is only applicable if the driveway is longer than 70 metres, which is possible likely to be required.



Table 6: Vehicular access technical requirements

TECHNICAL REQUIREMENTS	1 Public roads	2 Emergency access way¹	3 Fire service access route¹	4 Battle-axe and private driveways²
Minimum trafficable surface (metres)	In accordance with A3.1	6	6	4
Minimum horizontal clearance (metres)	N/A	6	6	6
Minimum vertical clearance (metres)	4.5			
Minimum weight capacity (tonnes)	15			
Maximum grade unsealed road ³	As outlined in the IPWEA Subdivision Guidelines	1:10 (10%)		
Maximum grade sealed road ³		1:7 (14.3%)		
Maximum average grade sealed road		1:10 (10%)		
Minimum inner radius of road curves (metres)		8.5		

Notes:

¹ To have crossfalls between 3 and 6%.

² Where driveways and battle-axe legs are not required to comply with the widths in A3.5 or A3.6, they are to comply with the Residential Design Codes and Development Control Policy 2.2 Residential Subdivision.

³ Dips must have no more than a 1 in 8 (12.5%-7.1 degree) entry and exit angle.



ELEMENT 3: VEHICULAR ACCESS

PERFORMANCE PRINCIPLE

P3iv

Vehicular access is provided which allows emergency service vehicles to directly access all habitable buildings and water supplies and exit the lot without entrapment.

ACCEPTABLE SOLUTIONS

A3.5 Battle-axe access legs Sb

Where it is demonstrated that a battle-axe access leg cannot be avoided due to site constraints, it can be considered as an acceptable solution.

There are no battle-axe technical requirements where the point of the battle-axe access leg joins the effective area of the battle-axe lot, is less than 50 metres from a public road in a reticulated water area.

In circumstances where the above condition is not met, or the battle-axe lot is in a non-reticulated water area, the battle-axe access leg is to meet all the following requirements:

- requirements in Table 6, Column 4; and
- passing bays every 200 metres with a minimum length of 20 metres and a minimum additional trafficable width of two metres (i.e. the combined trafficable width of the passing bay and constructed private driveway to be a minimum six metres).

A3.6 Private driveways Dd Do

There are no private driveway technical requirements where the private driveway is:

- within a lot serviced by reticulated water;
- no greater than 70 metres in length between the most distant external part of the development site and the public road measured as a hose lay; and
- accessed by a public road where the road speed limit is not greater than 70 km/h.

In circumstances where all of the above conditions are not met, or the private driveway is in a non-reticulated water area, the private driveway is to meet all the following requirements:

- requirements in Table 6, Column 4;
- passing bays every 200 metres with a minimum length of 20 metres and a minimum additional trafficable width of two metres (i.e. the combined trafficable width of the passing bay and constructed private driveway to be a minimum six metres); and
- turn-around area as shown in Figure 28 and within 30 metres of the habitable building.

Appendix 2

The following is an extract from the Shire of Boyup Brook “2020-2021 Fire Information and Firebreak Notice.”

FIREBREAKS

Under section 33 of the *Bush Fires Act*, you are required to carry out the fire prevention work specified below on any land within the Shire that is owned or occupied by you.

The work must be carried out by 30 November, unless approved otherwise, and maintained throughout the summer months until 1 May.

If an owner or occupier fails to comply with these requirements, he or she may be issued with an infringement notice (penalty \$250) or prosecuted, and the Shire may carry out the required work at the cost of the owner or occupier.

If it is impractical for any reason to clear firebreaks, or to take measures in accordance with these requirements, you may apply to the Shire in writing before 11 November, for permission to provide firebreaks in alternative locations, or to take alternative measures to prevent the outbreak or spread of a bush fire. If permission is not granted in writing by the Shire, you must comply with these requirements.

TOWN SITE LAND

On all land located within a town site (except for land zoned Rural and Special Rural as shown in the Shire of Boyup Brook Town Planning Scheme No 2 (**Scheme**)), you must -

1. Where the area of land is 2023m² or less, clear the land free of all inflammable matter, except living trees and cultivated plants, shrubs and lawns, that are no greater than 5cm in height.

2. Where the area of the land is in excess of 2023m², clear a 2.5m wide bare earth firebreak immediately inside all external boundaries of the land or immediately surrounding all buildings on the land by removing all inflammable matter and vegetation within the 2.5m wide firebreak between the ground and 4m above the ground.

SPECIAL RURAL LAND

On all land zoned Special Rural under the Scheme, you must -

- (a) clear a 2.5m wide bare earth firebreak immediately inside all external boundaries of the land by removing all inflammable matter and vegetation within the 2.5m wide firebreak between the ground and 4m above the ground; and
- (b) clear a 10m wide bare earth firebreak around all buildings and fuel storage areas by removing all inflammable matter and vegetation within the 10 metre wide firebreak between the ground and 4m above the ground.

RURAL LAND

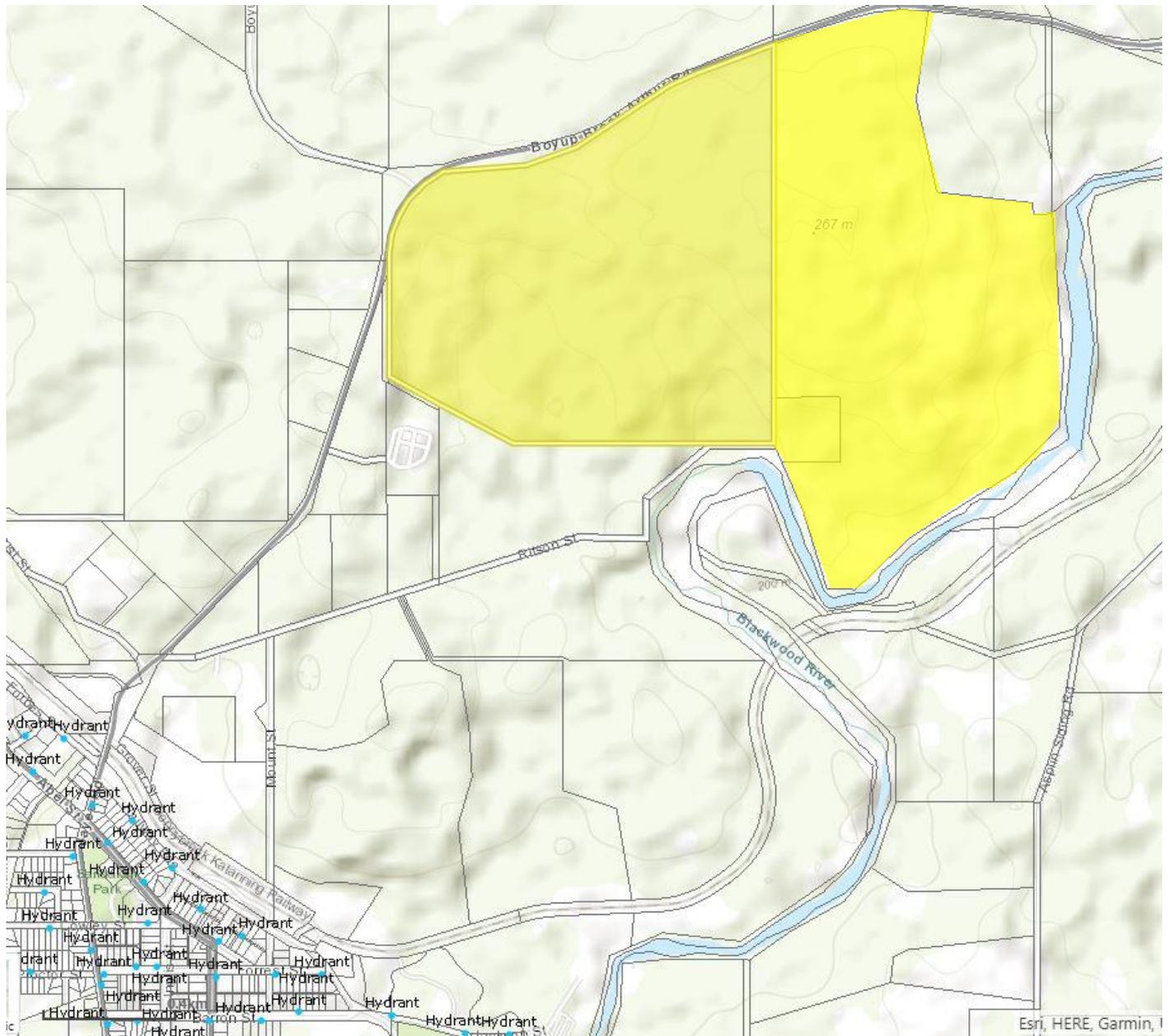
1. On land zoned Rural under the Scheme, you must **either** -
 - (a) clear a 2.5m wide bare earth firebreak immediately around all buildings, homesteads, hay sheds, fuel storage areas, caravans and mobile accommodation by removing all inflammable matter and vegetation within the 2.5m wide firebreak between the ground and 4m above the ground; and
 - (b) clear a second 2.5m wide bare earth firebreak around all buildings, homesteads, hay sheds, fuel storage areas, caravans and mobile accommodation located not less than 20m nor more than 100m from the firebreak in paragraph (a) above by removing all inflammable matter and vegetation within the second 2.5m wide firebreak between the ground and 4 metres above the ground.

OR

2. As an alternative to the two firebreak system described in 1, clear a 10m wide bare earth firebreak immediately around all buildings, homesteads, hay sheds, fuel storage areas, caravans and mobile accommodation by removing all inflammable matter and vegetation within the 10m firebreak between the ground and 4m above the ground.

Appendix 3

Location of the current fire hydrants (blue dots) in the general area of the development and compliant with the Water Corporation standards. The a portion of the site (residential area) will be serviced by the reticulated scheme water system which includes the provision of fire hydrants and will be compliant with the State's requirements.



References

Australian Building Codes Board, (2019). *Building Code of Australia*. Australian Building Codes Board, Sydney

Shire of Boyup Brook, (2022). *Fire Break Notice 2020/21*. Retrieved 4 December 2022 from <https://www.boyupbrook.wa.gov.au/documents/861/20202021-firebreak-notice> (it is noted that this is an outdated Firebreak Notice, but it is the latest on the web site for the Shire of Boyup Brook).

Near map from <http://maps.au.nearmap.com/>

Slope percentage to degrees conversion from <https://www.calcunation.com/calculator/slope-percent-conversion.php>

Department of Fire and Emergency Services (DFES), (2020). *Map of Bushfire Prone Areas*. Retrieved 4 February 2020 from <http://www.dfes.wa.gov.au/regulationandcompliance/bushfireproneareas/Pages/default.aspx>

Standards Australia. (2018). *Australian Standard 3959 – Construction of buildings in bushfire-prone areas*. Standards Australia, Sydney, NSW.

Western Australian Planning Commission. (2015). *State Planning Policy 3.7 – Planning in Bushfire Prone Areas*. Western Australian Planning Commission, Perth, WA.

Western Australian Planning Commission. (2017). *Guidelines for Planning in Bushfire Prone Areas*. Western Australian Planning Commission, Perth, WA. December 2017

Hydrant and water meter locations from <https://espatial.dph.wa.gov.au/PlanWA/Index.html?viewer=PlanWA>

ATTACHMENT 7

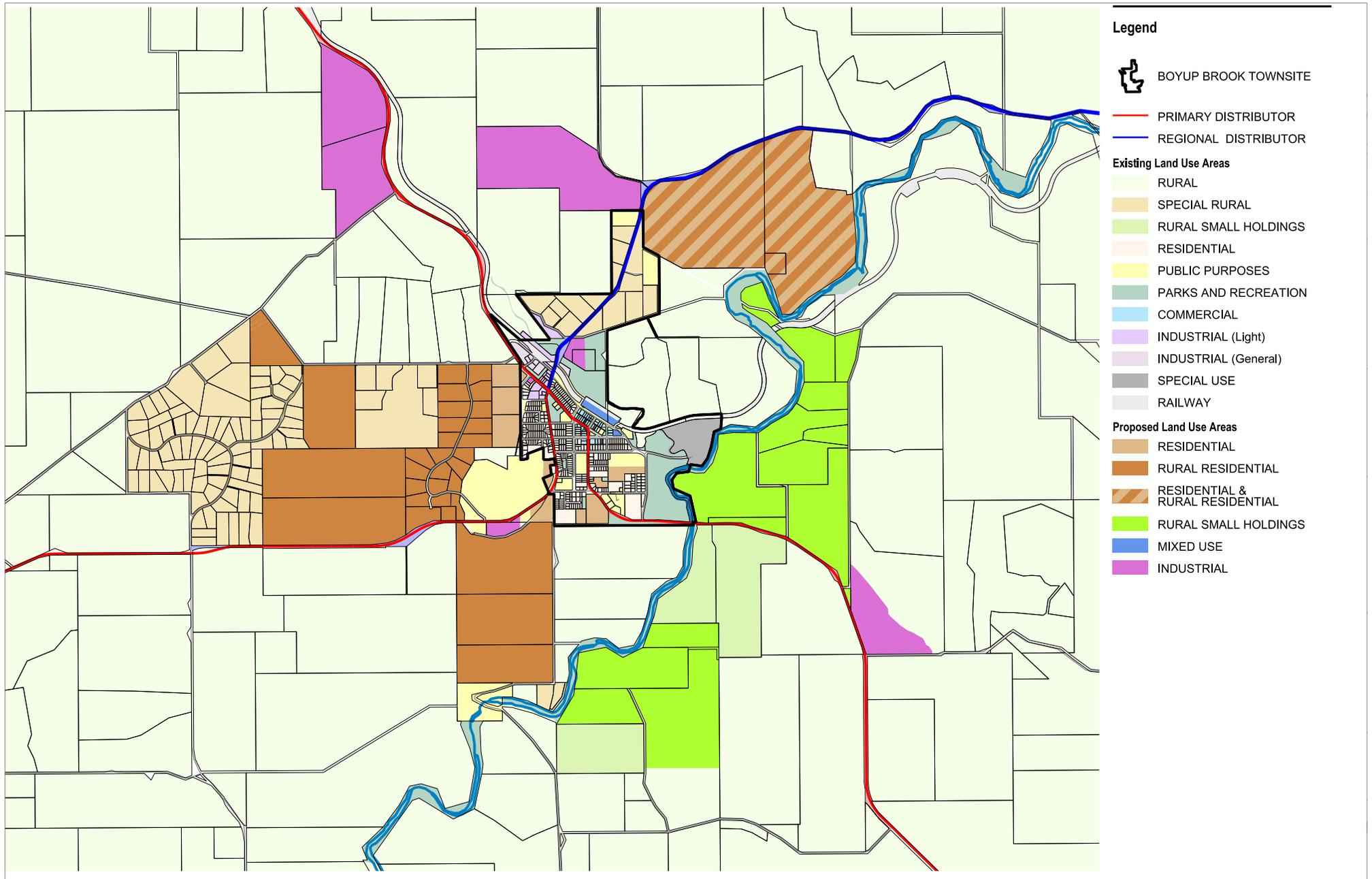


Figure 4: Local Planning Strategy Map for Boyup Brook Townsite and Surrounds

5.0 PLANNING AREAS

5.1 Overview

In addressing the broader issue of growth and regeneration of the local government area, one of the key actions is the identification and facilitation of developable land to accommodate economic and population growth. This section provides a greater level of detail for each of the planning areas, including a spatial plan for each, relevant planning considerations and site specific opportunities and issues.

5.2 Planning Areas

There are a total of 19 identified Planning Areas considered suitable for further detailed investigation for future development. These planning areas are listed below and shown in **Figure 5**, and are divided into five key planning area themes which are further explained in **Table 5**.

Mixed Use

1. Railway Parade
2. Forrest Street

Residential

3. Bridge Street
4. Beatty Street
5. Bridge and Gibbs Street
6. William and Short Street

Industrial

7. Ritson Street
8. Abel & Short Street A
9. Bridgetown - Boyup Brook Road
10. Boyup Brook North Industrial
11. Donnybrook-Boyup Brook Road
12. Boyup Brook-Kojonup Road

Rural Residential

13. Banks Road
14. Rusmore Road
15. Bridgetown Boyup-Brook Road & Banks Road
16. Rural Residential Consolidation Area
17. Boyup Brook North Residential Expansion (Residential/Rural Residential)

Rural Small Holdings

18. Stanton, Terry and Fern Valley Rd
19. Asplin Siding Road

Table 5: Planning Area Classification and Key Considerations

PLANNING AREA	PLANNING DIRECTION	ACTION	RATIONALE	TIMEFRAME
Mixed Use	To provide additional commercial and residential opportunities which support the viability of the Townsite		Demand for additional commercial opportunities is difficult to accommodate due to the lack of suitable sites within the Townsite.	Short Term (1-3 Years) depending on outcomes of more detailed analysis and review.
Industrial	To facilitate the expansion of existing local business and attract new businesses to the Shire.	Investigate the potential of the subject land to accommodate development, and undertake planning framework modifications to facilitate this development.	Demand for expansion of existing industrial businesses, or new businesses looking to establish, is currently difficult to accommodate due to a lack of suitable land.	
Residential	To facilitate expansion of the local population and encourage local residents to stay within the Shire.		Population retention and growth is essential to the viability of the Shire, and a diversity of options for residential living is necessary to encourage residents to stay within the Shire and people to move to the Shire.	
Rural-Residential				
Rural Small Holdings				

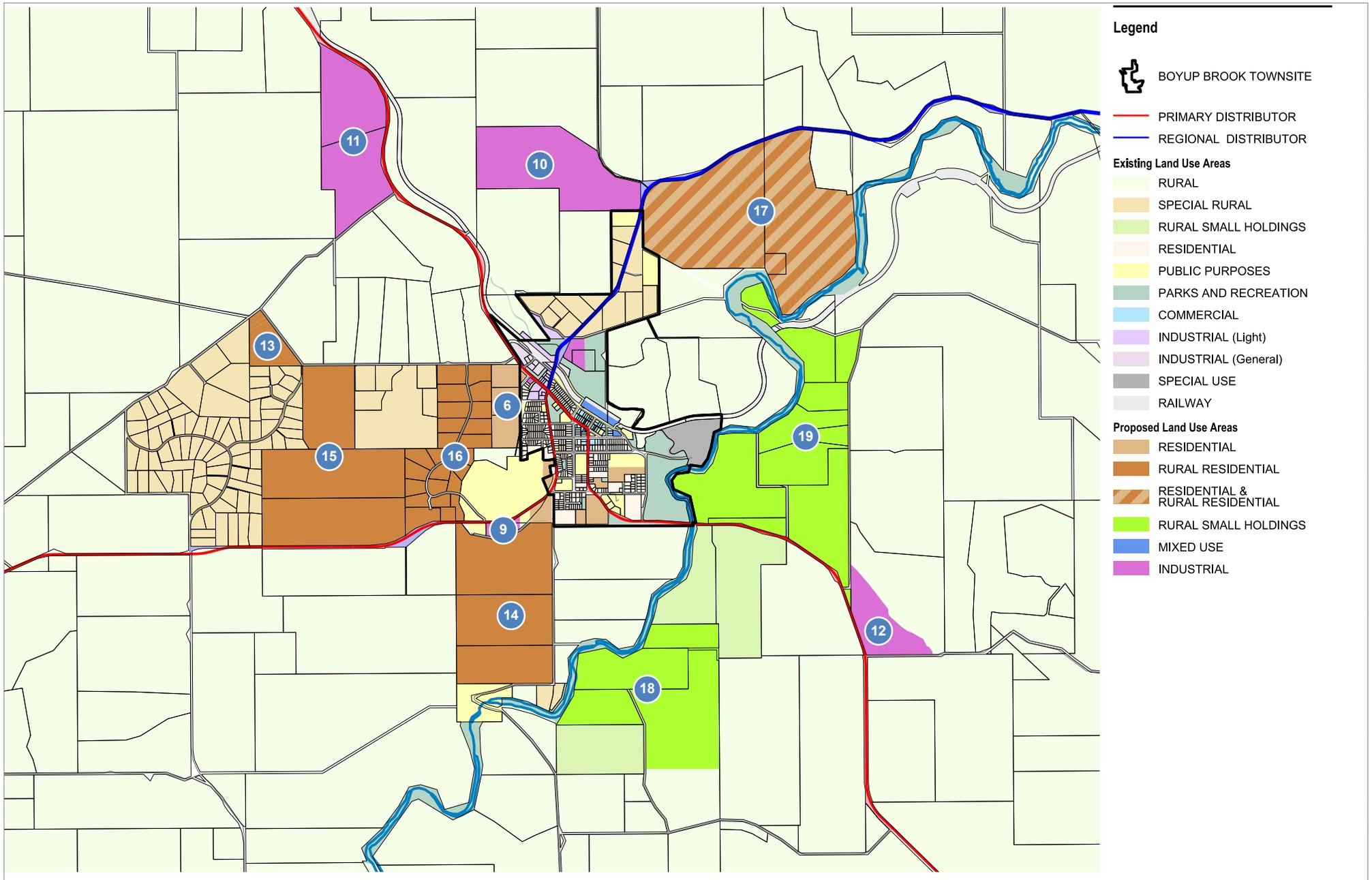


Figure 5: Planning Areas for further investigation.

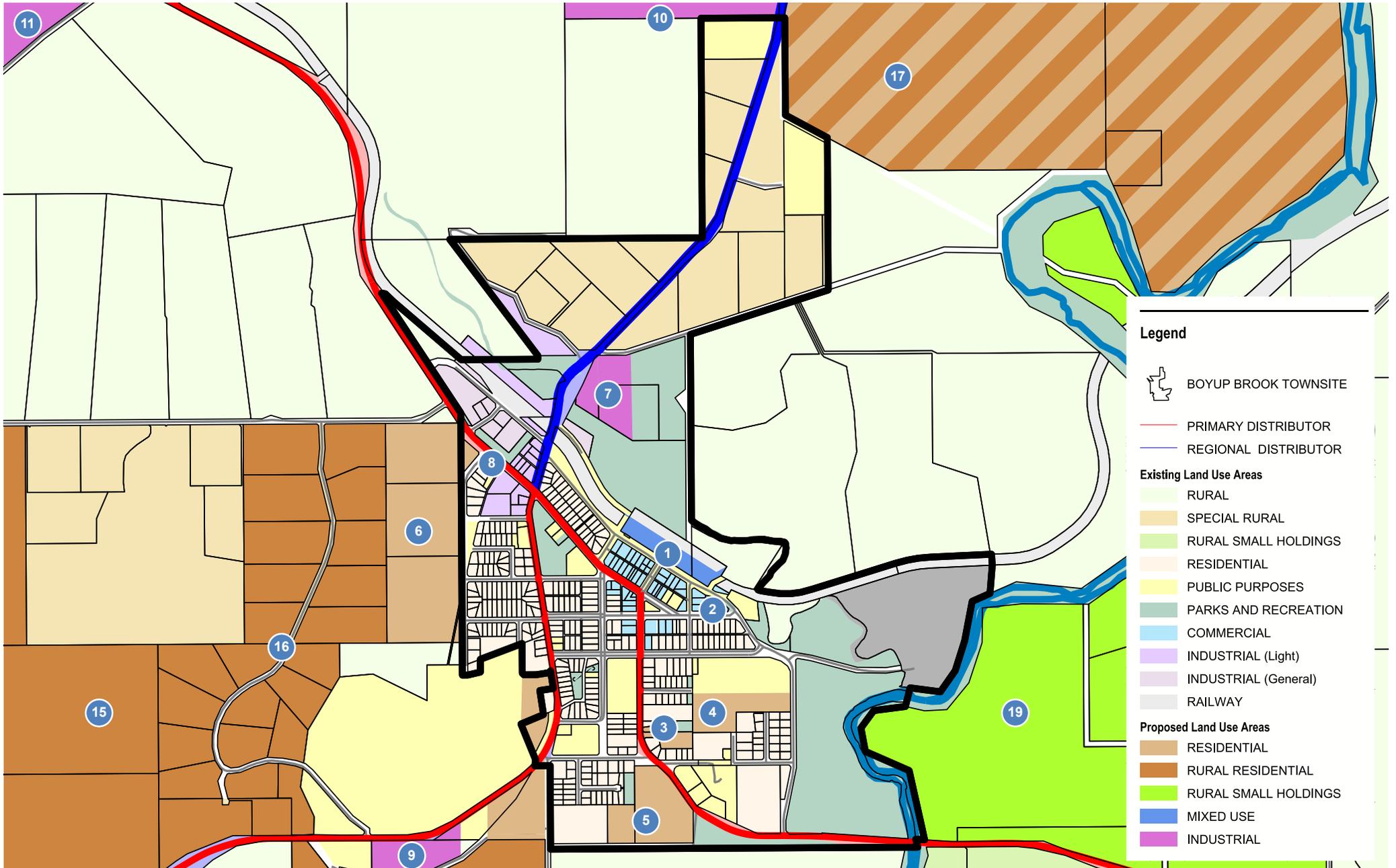


Figure 5: Planning Areas for further investigation.

17. BOYUP BROOK NORTH RESIDENTIAL EXPANSION

Site Details:

Lot 51 (4) Boyup Brook-Arthur Road, Boyup Brook
Lot 1007 Boyup Brook-Arthur Road, Boyup Brook
Lot 1118 Boyup Brook-Arthur Road, Boyup Brook

Land Area:

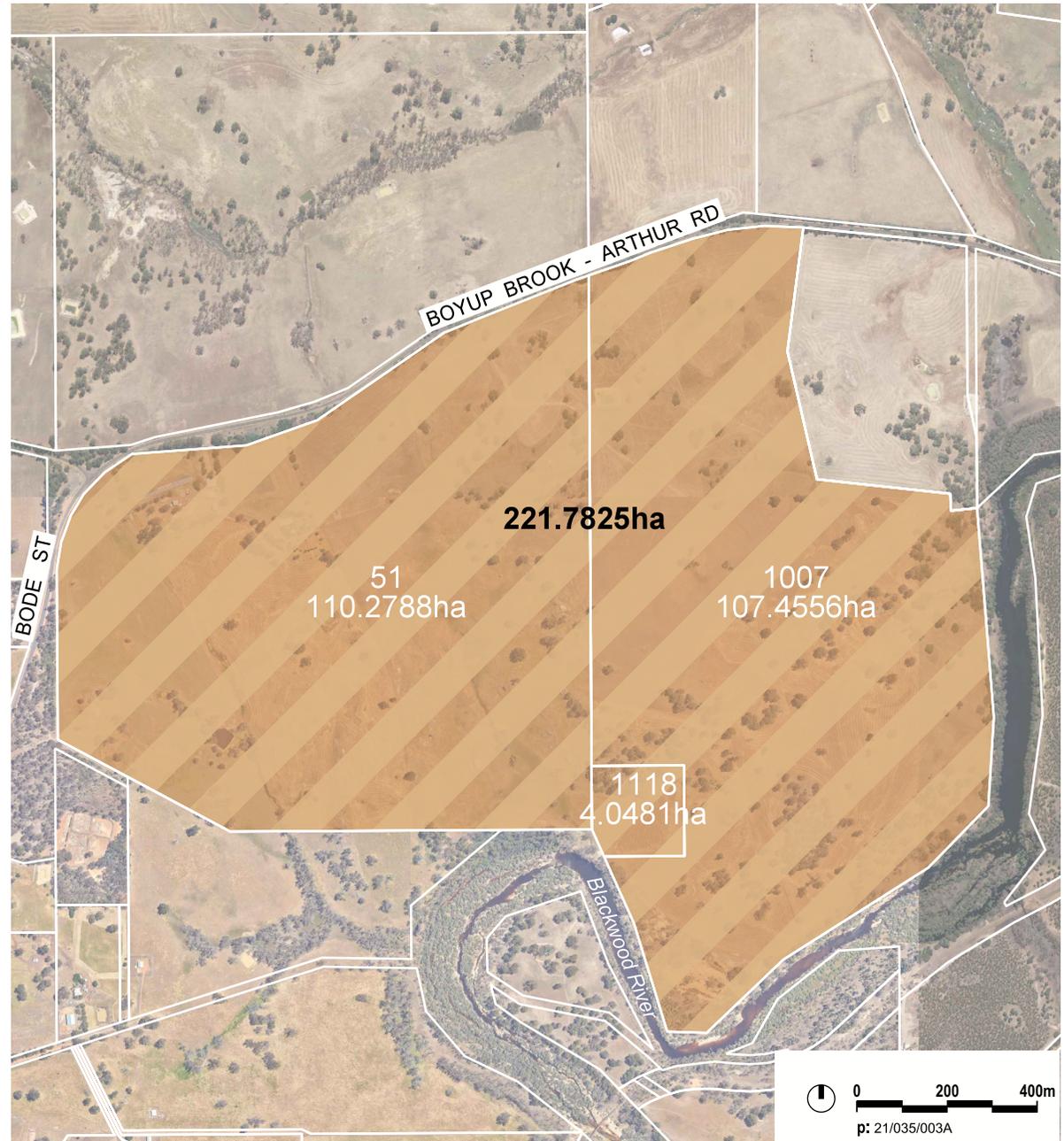
221.78 Ha (gross)
110.89 Ha (estimated Net Developable Area)

Planning Considerations:

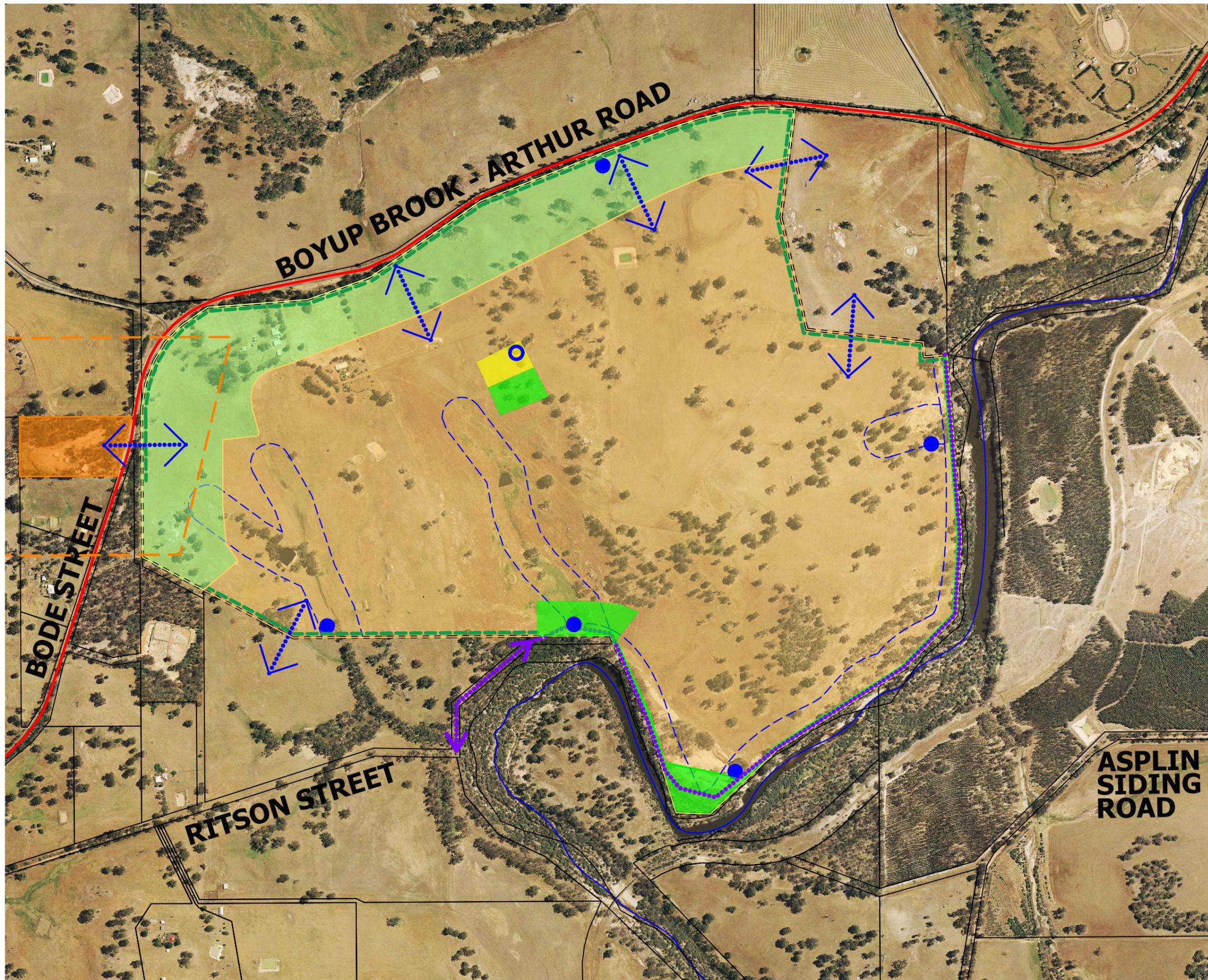
Proposed Land Use: 'Rural Residential' or 'Residential'
Current Scheme Designation: 'Rural'
Proposed Scheme Designation: 'Rural Residential' or 'Residential'
Structure Planning Required: Yes (identify as 'Special Control Area - Structure Plan')
Lot Size/Density: 1 Ha (subject to detailed structure planning)
Estimated Lot Yield: 111 lots (subject to detailed structure planning)

Issues/Opportunities:

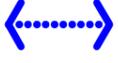
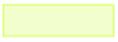
1. Subdivision and development to be in accordance with WAPC SPP 3.7 – Planning in Bushfire Prone Areas and SPP 2.5 Rural Planning.
2. Compliance with Government sewerage policies.
3. Vegetation protection.
4. Suitable setbacks to, and landscape management near, the Blackwood River
5. Ability to access servicing for the lots,
6. Consideration of suitable development standards to occur through detailed structure planning.
7. Environmental Impact Assessment for any development in close proximity to the Blackwood River.



ATTACHMENT 8



LEGEND

-  Local Structure Plan Boundary
-  Regional Distributor Road
-  Indicative Road/Intersection/Connection
-  Drainage Basins
-  Walk/Cycle Track Connections
-  Indicative Walk/Cycle Track Connection
-  River and Watercourses
-  Residential (R5 minimum)
-  Rural Residential
-  Foreshore Reserve/Public Open Space
-  Public Purpose
-  Resource Recovery Facility
-  Resource Recovery Facility 200m Buffer Zone
-  Replanting (Indicative)
-  100m setback to Blackwood River and 50m setback to Seasonal Creeks

LOCAL STRUCTURE PLAN
 LOTS 51, 1007 and 1118
 BOYUP BROOK-ARTHUR ROAD, BOYUP BROOK
 SHIRE OF BOYUP BROOK

N
 SCALE
 APPROX.
 1:10000
 DATE
 2nd DECEMBER
 2022



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ATTACHMENT 9

ATTACHMENT 10

ENGINEERING SERVICING REPORT

LEAFIELD DEVELOPMENT, BOYUP BROOK

April 2022

PREPARED FOR: Mark Bombara

Submitted by Peter Eastlake FIEAust CPeng (Ret)

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ENGINEERING SERVICING REPORT
Leaffield- Lots 51, 1007 and 1118
Boyup Brook – Arthur Road, Boyup Brook

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LEAFIELD- LOTS 51, 1007 and 1118

ENGINEERING SERVICING REPORT

1 Introduction

Peter Eastlake has been engaged by Mark Bombara to undertake a review into civil engineering related matters and infrastructure servicing opportunities and constraints for a potential residential and rural residential development of Lots 51, 1007 and 1118 Boyup Brook – Arthur Road, Boyup Brook. The name of the proposed development is Leafield, Boyup Brook

This report summarises the existing servicing infrastructure, the expected servicing infrastructure and the likely Local Authority engineering conditions required to be undertaken to achieve an anticipated Western Australian Planning Commission (WAPC) and Shire of Boyup Brook Structure Plan and Rezoning approval for the Site.

The information contained herein has been provided to assist in the understanding of the potential engineering issues and constraints involved in the Leafield development in accordance with current residential and rural residential subdivision requirements. It is assumed the residential subdivision will be an R5 density with larger lots to address land capability. The overall lot yield on the Site is approximately 360 lots/dwellings.

It is noted that the advice contained herein is general in nature, as no detailed engineering, environmental, geotechnical or other design work has been undertaken as part of this report. No detailed discussions with the local authority or any of the servicing agencies (unless otherwise specifically noted within where an issue was deemed to require additional clarification due to a significant effect on the potential for development).

A Local Water Management Strategy (LWMS) investigation and report was undertaken by Bio Diverse Solution in September 2021 and an associated Groundwater Monitoring Bore Report was prepared by WML in January 2022. This Servicing Report should be read in conjunction with these documents.

2 Site Description

The Site is located 2 kilometres northeast of the Boyup Brook town site on the Boyup Brook – Arthur Road. The Site is bound by Boyup Brook – Arthur Road to the north and the Blackwood River to the south. The Site is surrounded by rural landholdings. The area subject to rezoning is approximately 222 hectares.

The Site is currently cropping and grazing land with a dwelling and sheds in the northwest of the Site. The Site consists of cleared pasture with sparse areas of mature trees and vegetation. Historical aerial images dating back to 1996 do not indicate any other land uses, the latest aerial image is presented in Figure 1 below.



Figure 1: Aerial Photography (WA Now 2017)

3 Site Conditions

3.1 Geology

The Geology of the Site is predominantly silty sand over rock and/or sandy clay, which is suitable for residential development. Refer Section 3.6 of the LWMS which includes results of the soil investigation.

3.2 Topography

The Site generally grades from Boyup Brook-Arthur Road in the north to the Blackwood River to the south. The grade of the Site is generally moderate, with localised flat and steep areas. The road layout will need to consider the topography of the Site to ensure earthworks levels in the road reserve match as close as is reasonably practical to the natural levels. Refer Section 3.2 of the LWMS for further discussion of the Site topography.

3.3 Vegetation

Refer Section 3.4 of the LWMS.

3.4 Acid Sulphate Soil (ASS)

The Site does not fall within any known areas of ASS and ASS is not anticipated to be encountered, refer to Section 3.5 of the LWMS.

3.5 Existing Building Infrastructure

The Site contains a single residential home and associated small farm infrastructure in the northeast corner of the property. It is noted that the existing building infrastructure is to be retained in future lots following subdivision, and the subdivision proposed will take into consideration separation of the existing buildings to proposed boundaries.

3.6 Existing Servicing Infrastructure

The existing dwelling is currently served with power from the existing overhead powerlines traversing the property. The NBN communications to the Site are wireless. There is presently no reticulated water, sewer, or gas supplies to the Site.

3.7 Illegal Dumping and Contamination

Visual inspection of the Site does not indicate any areas of potential illegal dumping or areas potentially contaminated with unwanted waste, materials etc. Research of the contaminated sites database, Figure 2 below, does not indicate any form of contamination on the Site nor that the Site has been remediated in the past.

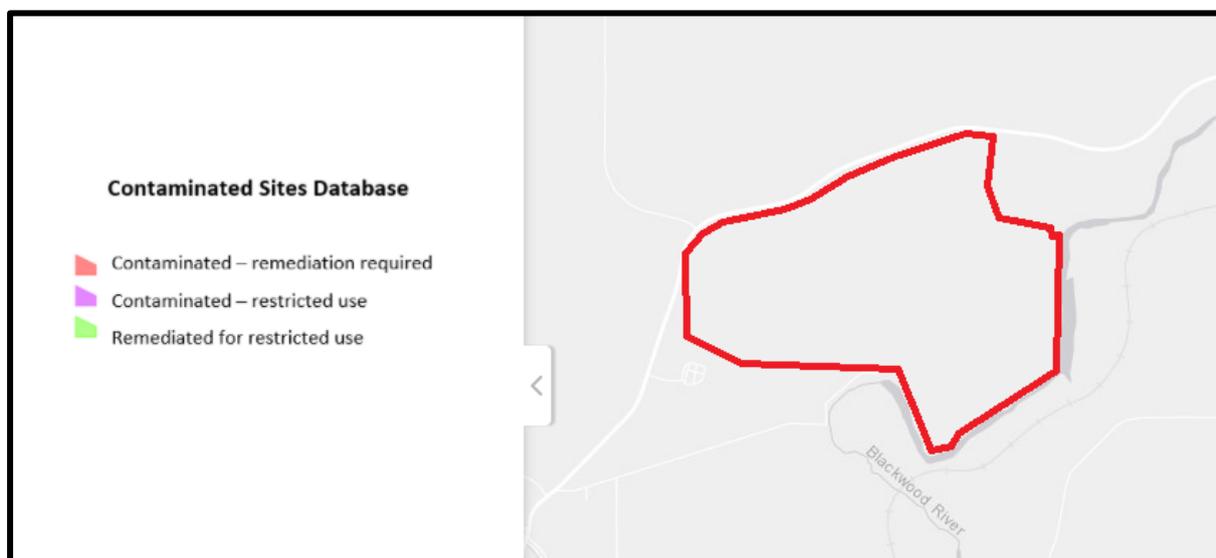


Figure 2: Contaminated Sites Database (Landgate (SLIP) March 2022)

3.8 Groundwater

Refer Section 3.8 of the LWMS

4 Development Siteworks

The siteworks/earthworks within the Site will be undertaken as necessary to facilitate the construction of roads, drainage and servicing infrastructure associated with the creation of the lots. Little or no bulk earthworks will be undertaken on the individual lots however future lot purchasers may choose to undertake earthworks to create their homes and infrastructure upon creation of the lots. This will be subject to the Shire of Boyup Brook's Building approvals process.

5 Development Infrastructure

5.1 Roadworks

The Shire of Boyup Brook will be the ultimate approval authority for any proposed road network. Road infrastructure will be designed in accordance with the approved Structure Plan and will be based on hierarchy appropriate to the residential and rural residential zoning, with each lot having road frontage.

The internal road locations will need to be cognisant of the terrain to ensure that suitable road gradients and economic constructability are achieved, with due regard to the Aboriginal Heritage areas.

It is anticipated that there will be two new road entrances on to the Shire controlled Boyup Brook – Arthur Road, as shown on the proposed Structure plan. The specific location of these intersections will be determined at the time of detailed design and will consider Site topography, appropriate sightlines, the existing tree line, drainage swales and the volumes of traffic generated by the new lots.

Another road connection to the existing Ritson Road reserve at the south east boundary of the site is proposed to facilitate a more direct connection towards Boyup Brook town site for the southern and eastern lots. Ritson Road reserve has currently an unsealed gravel road with the last section leading to the site having no road formation and being naturally vegetated. As this section is adjacent to the Blackwood River and is partially within an Aboriginal Heritage site, it is not expected that a road link will be constructed using this section of the road reserve. However it is an appropriate access for a path way link to the site. This road connection is not proposed to be included in the development planning and only a road reserve access to the lot development boundary will be included.

5.2 Stormwater Management

Refer Sections, 3.7, 3.9 and 5.3 of the LWMS. To achieve the requirements of the LWMS piped drainage, roadside swales and storage basins will need to be constructed, sized to convey and store the 20% AEP storm event. In larger storm events stormwater will flow overland, unattenuated into the Blackwood River or existing Boyup Brook-Arthur Road drainage system.

5.3 Underground Power

It is proposed that all lots within this development will be serviced by underground power as required by the WAPC.

The Western Power Network Capacity Mapping Tool indicates the area has 10-15MVA forecast remaining capacity. Based on an R5 density with a power demand of 4.7kVa per dwelling the estimated total power requirement for residential development of the Site is approximately 4.7MVA, well within the available remaining capacity.

Western Power mapping of their existing underground and overhead electrical assets within the vicinity of the subject land is presented in Figure 3. Existing 3-phase overhead power lines traverse the Site (solid blue in Figure 3), as part of subdivision these will need to be relocated and undergrounded within road reserves being created.

It is anticipated initial lots can be connected onto the existing network running through the Site. As development progresses it is expected offsite upgrades of the existing power networks will be required. The nearest transmission power line is approximately 2.4km west of the Site, the 132kV powerline shown in red in Figure 3.

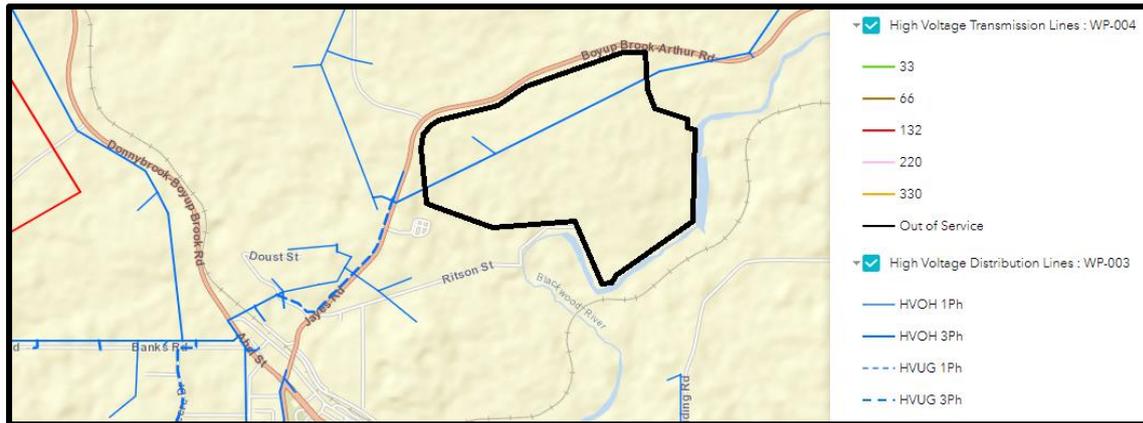


Figure 3: Existing Power Network (Western Power Network Capacity Mapping Tool, March 2022)

The WAPC may consider alternative power supply based upon the advice of the relevant licensed service provider.

While matters within this space are evolving quickly, the option outlined hereunder, while generally applying to larger lots, may be relevant.

An alternate option would be the provision of a renewable energy source, under State Planning Policy 2.5 – Rural Planning Guidelines the WAPC permit a renewable energy source to power residential property:

“5.4 Renewable energy sources

The use of renewable energy sources to power residential properties has become increasingly attractive to homeowners in rural areas due to the expense and challenges of connecting to a reticulated supply. SPP 2.5 allows for the use of renewable energy sources where a network connection is not available or an infrastructure upgrade is not commensurate with the scale of a proposal.

An ‘off-grid’ system, also known as a ‘stand-alone power’ system, could be utilised to service rural lots. The main components of a stand-alone power system are:

- Renewable energy generation equipment, such as photovoltaic modules (solar panels), wind turbines, or ‘hybrid’ combinations of these;
- control and regulation equipment for battery charging and back-up power operation;
- energy storage such as batteries;
- inverters which convert electrical current so that common household appliances can be used;
- and
- a back-up electricity supply from either storage batteries and/or generators.

Any stand-alone power supply system must demonstrate that the energy generated through the renewable energy source/s is sufficient for the intended land use. The use of diesel generators to power residential properties is not considered a renewable energy source as defined in SPP 2.5.” (SPP 2.5 Rural Planning Guidelines Version 3 December 2016 Western Australian Planning Commission)

5.4 Water Supply

The existing Water Corporation water reticulation network is presented in Figure 4 below, there is reticulated water within the Boyup Brook townsite itself only. Water Corporation were contacted in October 2021 and in January 2022 to confirm the water supply available for the proposed subdivision and they advised that a water supply to the Site is not available. The current Boyup Brook townsite demand is at 95% capacity with the Water Corporation forecasting demand to reach the maximum capacity in the next 8 years. Water Corporation are developing new water sources however these are a few years away and do not have a schedule attached yet. The Water Corporation will need to undertake a planning review to determine the requirements to provide a water supply to the Site.

The Shire of Boyup Brook were also contacted and they advised that the Water Corporation have simply looked at past population levels and have not considered or planned for growth in Boyup Brook. The Shire seeks for Water Corporation to plan for growth and increased water provision infrastructure/solutions which may include Water Corporation funding new pump stations from Hester Dam and increased storage in Boyup Brook. To this end the Shire recommends a meeting, in the short term, between Water Corporation (possibly South West Manager), the Shire and the Developer.

The Developer is supportive of providing reticulated water to the property including a pump station, a high level tank and a low level tank. This is subject to Water Corporation ensuring there is sufficient water to service Boyup Brook and that the Developer's upgrade costs are proportionate/reasonable.

Figure 6 show elevated points on the Site.

Subject to the timing for Water Corporation to upgrade the water supply and storage to Boyup Brook, the Shire is supportive, in-principle, of a 'hybrid' servicing model where lots are initially provided with rainwater tanks and reticulated water services are laid for future connection. The tank size to accommodate allowance for fire protection and climate change. As discussed, this could see tank sizes of 120,000 litres for usual use and 15,000 litres reserved for firefighting. This proposal would increase the cost of development to the lot purchaser and such consequences must be fully considered.

Lots that are 1 hectare or above are not serviced with reticulated water.

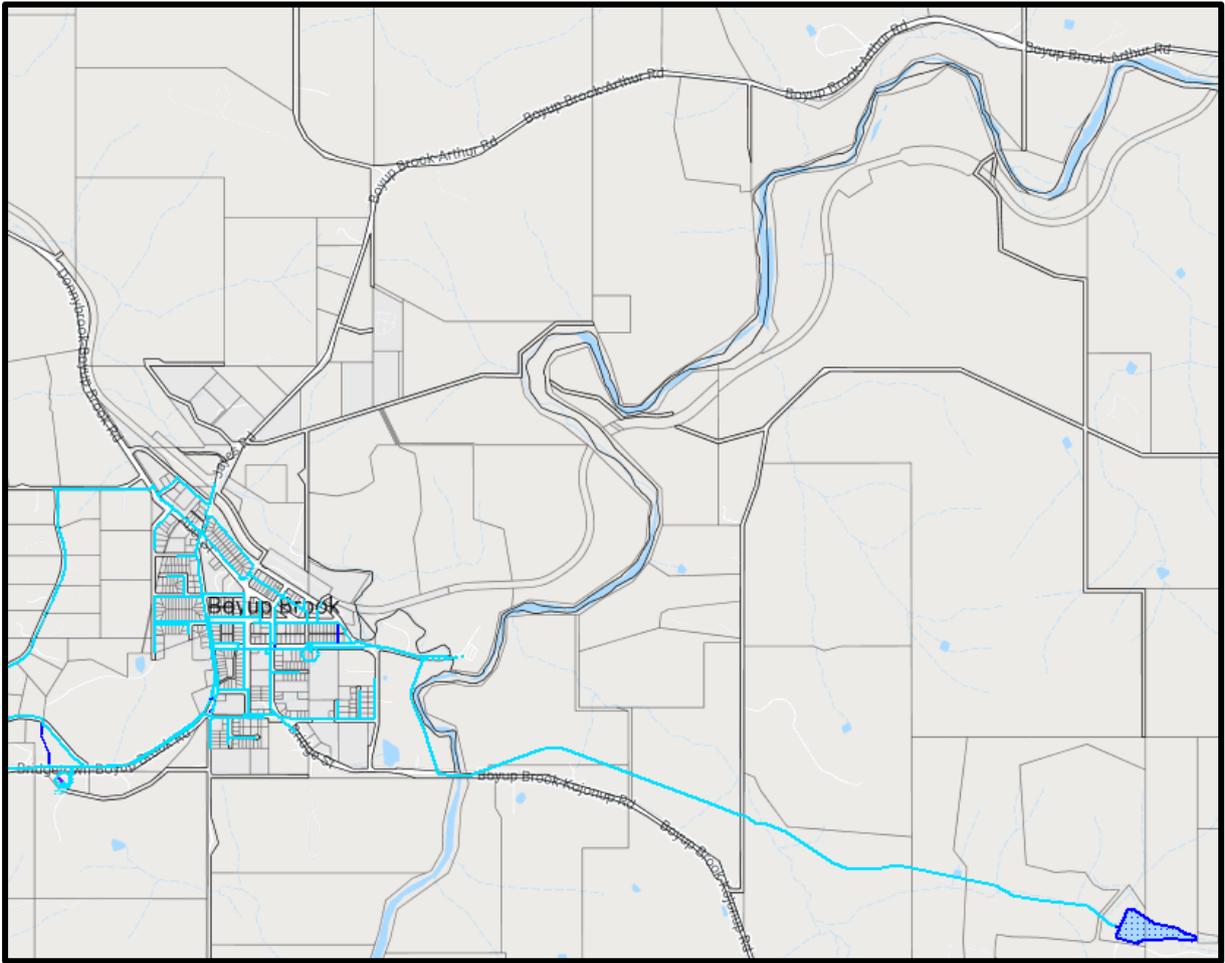


Figure 4: Existing Water Reticulation (Esinet March 2022)

5.5 Sewerage Effluent

The Site is not within a current or proposed wastewater catchment. Its proposed wastewater is managed at individual 'lot scale' level using either Leach Drains or Aerobic Treatment Units (depending on the geology of the lot), without reticulated sewer. On-site effluent disposal is discussed in more detail in Section 4 of the LWMS.

5.6 Communications

The Boyup Brook townsite and nearby surrounds are served with Fixed Wireless NBN communications. Further afield Fixed Wireless is unavailable and NBN communications are provided by Satellite.

The NBN mapping is presented in Figure 5 below. Most of the Site falls within the NBN Fixed Wireless area, apart from the north-eastern corner of the Site (which falls within the Satellite area). Since the Site is served with wireless communications underground communications ducts (pit and pipe) are not required to be installed.

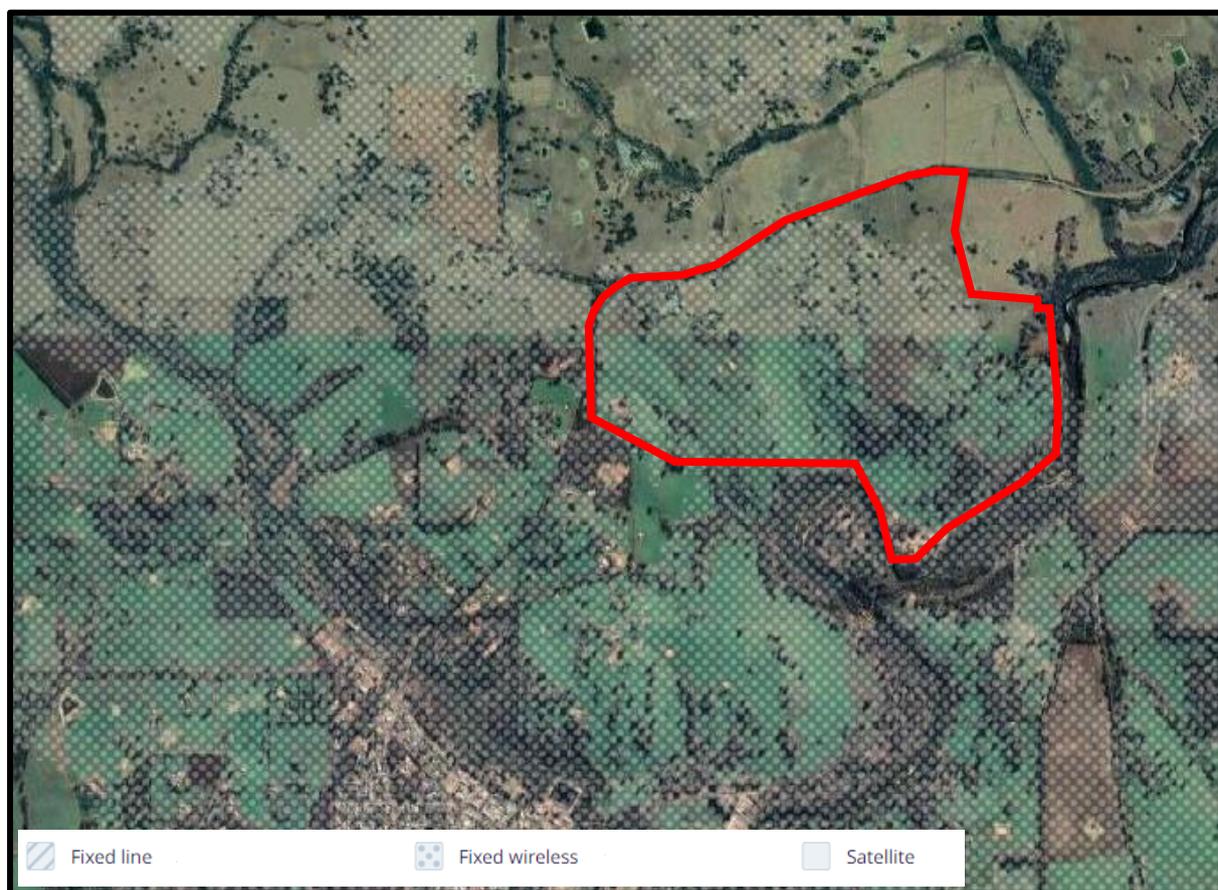


Figure 5: NBN Communications (NBN Co March 2022)

5.7 Gas

There is no existing underground gas supply in the Boyup Brook townsite or surrounds (including the subject Site), therefore it is not proposed to service the development with a reticulated gas supply. The provision of reticulated gas to the new development will not be a WAPC condition of subdivision.

ATTACHMENT 11

November 2022

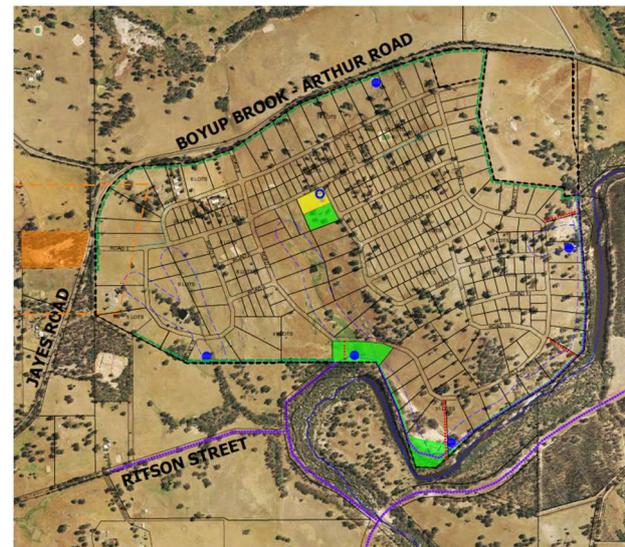
Final

Lots 51, 1007 and 1118 Boyup Brook Arthur Road, Boyup Brook

Prepared For:

Leaffield Pty Ltd

Transport Impact Assessment Report



DOCUMENT ISSUE AUTHORISATION

Issue	Rev	Date	Description	Author	Checked By	Approved By
0	0	07/11/2022	Draft Report	KL	CHS	SY
1	0	29/11/2022	Final Report	KL	CHS	CHS

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Donald Veal Consultants Pty Ltd

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1 INTRODUCTION

1.1 BACKGROUND

This Transport Impact Assessment (TIA) has been prepared by Donald Veal Consultants on behalf of Leaffield Pty Ltd, with regard to the proposed subdivision development on Lots 51, 1007, 1118 Boyup Brook Arthur Road, Boyup Brook.

DVC understands there are two development scenarios which need assessment, with 360 lots and 111 lots, respectively. Under the WAPC guidelines, the two scenarios would typically attract different levels of analysis (a transport ‘Statement’ versus a transport ‘Assessment’), determined by the volume of traffic generated.

1.2 SCOPE OF ASSESSMENT

This TIA has been prepared in accordance with the Western Australian Planning Commission’s (WAPC’s) *Transport Assessment Guidelines for Developments Volume 3 Subdivision* (2016). Its intent is to provide the approving authority with sufficient traffic information to confirm that the proponent has adequately considered the traffic aspects of the Structure Plan Amendments and that it would not have an adverse traffic impact on the surrounding area.

1.3 REFERENCES

The following documents are referred to in this report:

- *Liveable Neighbourhoods*, January 2009, WAPC and DOPI;
- *Transport Assessment Guidelines for Developments Vol 3 Subdivision*, August 2016, WAPC;
- *Guide to Traffic Generating Developments*, October 2002, Roads and Traffic Authority;
- *Residential Design Code (R-Codes) 2019*, WAPC; and
- *Austrroads Guide to Road Design Part 4A Unsignalised and Signalised Intersections*, 2017.

2 EXISTING SITE CONDITIONS

2.1 SITE LOCATION

The greater site lies within the Shire of Boyup Brook, with the western boundary of the site around 1.5km north-east of the Boyup Brook townsite. It is bounded by Boyup Brook Arthur Road to the north, Jayes Road to the west and the Blackwood River to the southeast. Boyup Brook North Road intersects with Boyup Brook Arthur Road and Jayes Road to the northwest of the site.

The site is mostly bounded by agricultural land uses, mainly grazing.

Figure 2.1 shows an aerial view of the subject site and its location in a local context.

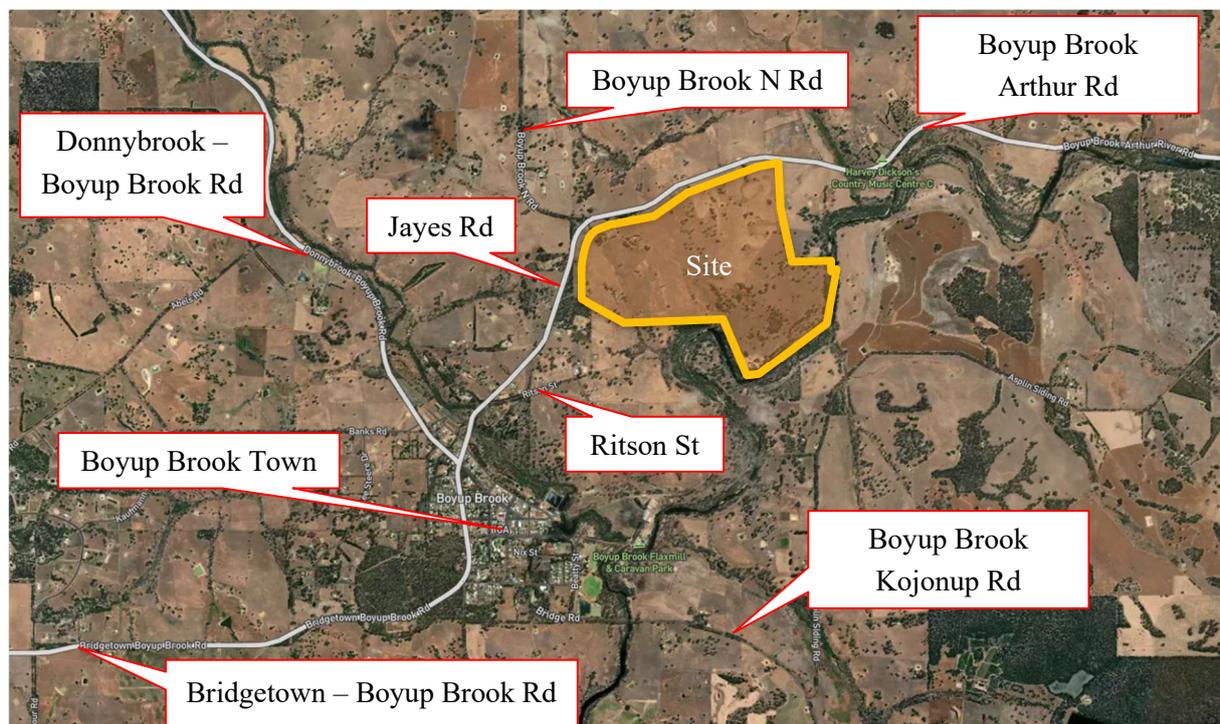


Figure 2.1: Existing Location in a Local Context

Source: MetroMap

2.2 CURRENT LAND USES

The site is currently used for agricultural purposes, mainly grazing.

2.3 ROAD HIERARCHY CLASSIFICATION

Boyup Brook Arthur Road and Jayes Road are classified as Regional Distributor Roads and Boyup Brook North Road is classified as a Local Distributor under Main Roads Western Australia's (MRWA's) Functional Road Hierarchy. Accordingly they are Shire-managed roads. See **Figure 2.2**.

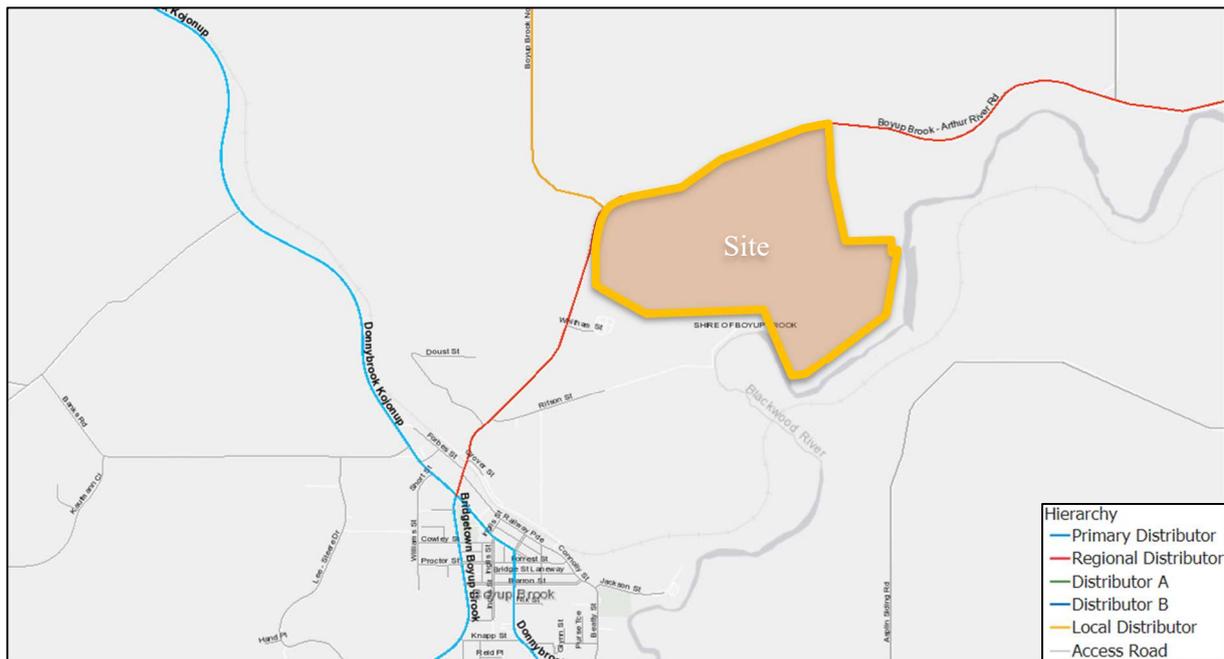


Figure 2.2: Road Hierarchy of surrounding road network

Source: MRWA Crash Map

Boyup Brook Arthur Road has a posted speed limit of 100km/h. Jayes Road generally has a posted speed limit of 80km/h, which reduces to 60km/h at the intersection of Jayes Road and Ritson Street and to the south. It then decreases to 50km/h through the Boyup Brook townsite.

Boyup Brook North Road has a rural, open area default speed limit of 110 km/h according to the MRWA Speed Limits Map. See Figure 2.3.

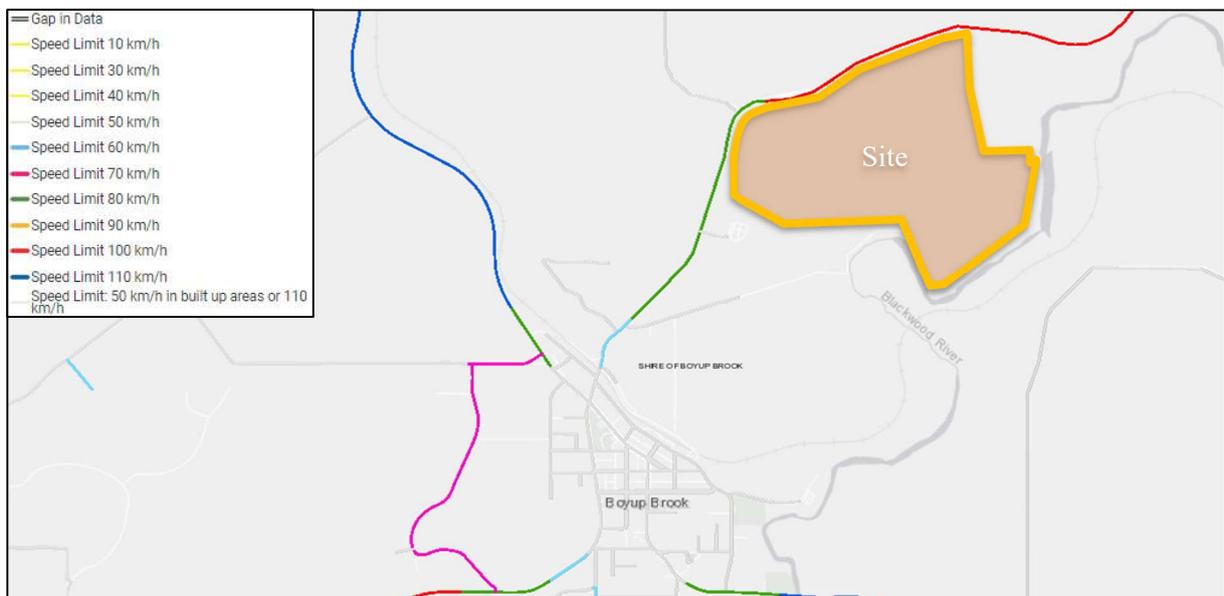


Figure 2.3: Speed Limit of surrounding road network

Source: MRWA Crash Map

2.4 TRAFFIC VOLUMES

No existing traffic counts were available from the MRWA Traffic Map on the Boyup Brook Arthur Road. Nearby traffic counts from the MRWA Traffic map are shown in **Table 2.1**. From discussions with the Shire it is evident that the Boyup Brook Arthur Road does not carry as much traffic as either the Donnybrook Road or the Bridgetown Road. Site observations also confirmed that traffic volumes were low. Therefore for the purposes of this assessment it has been assumed that the Boyup Brook Arthur Road carries similar levels of traffic to the Boyup Brook Kojonup Road i.e. about 550vpd. Hourly volumes here are not the same as metropolitan areas where there are pronounced, directional AM and PM peak hours. On the Boyup Brook-Kojonup Road traffic volumes in each direction are similar and maintain a steady volume between 8:00AM and 4:00PM. Each direction carries around 20-25vph in 2021/2022. Calculations in this assessment assume current hourly volumes of 30vph in each direction.

Table 2.1: Summary of MRWA Traffic Counts

Location	Date	Vehicles Per Day	% Heavy Vehicles
Boyup Brook Kojonup Road	2021/22	543	21.4%
Donnybrook Boyup Brook Road	2021/22	787	32.8%
Bridgetown Boyup Brook Road	2021/22	693	10.7%

2.5 PLANNED CHANGES TO THE ADJACENT ROAD NETWORK

DVC is not aware of any planned upgrades to the adjacent road network.

2.6 CRASH HISTORY

The MRWA CARS database was interrogated to identify the history of crashes occurring along Boyup Brook Arthur Road and Jayes Road between Ritson Street and Thompson Road in the latest 5-year reporting period, 2017 – 2021.

The database returned records of 2 crashes within this period as shown in **Figure 2.4**. Of these, one involved hitting an object and one a non-collision crash. Both crashes were property damage only.

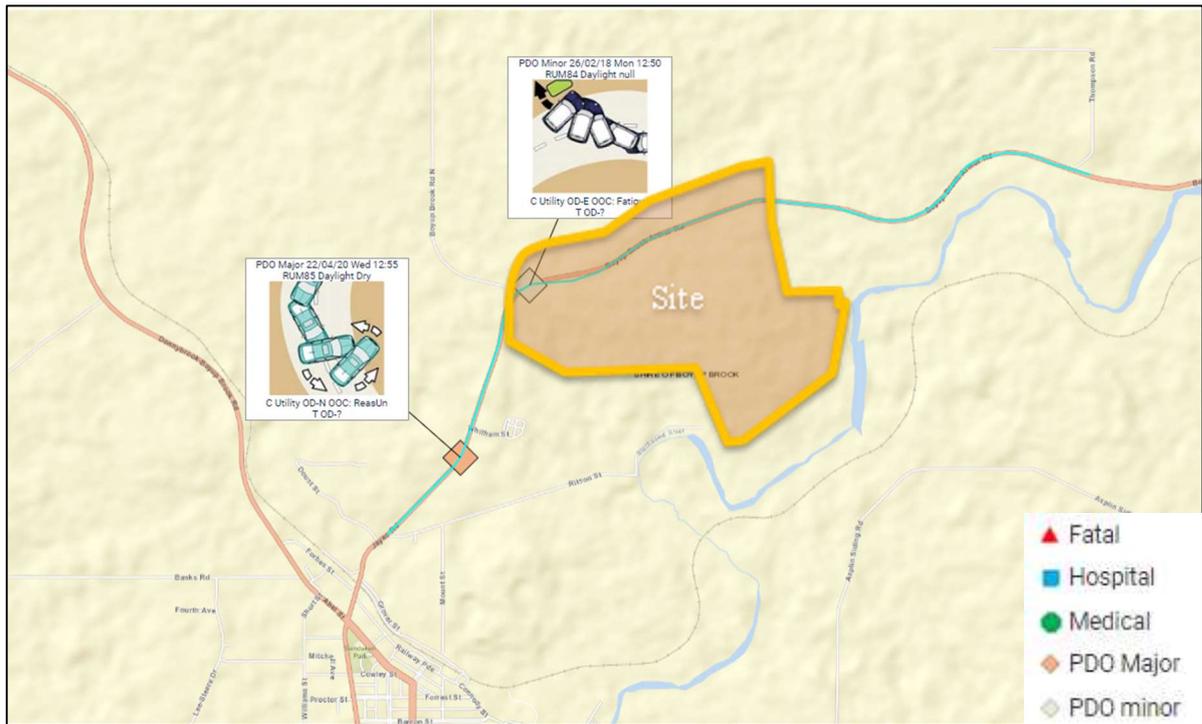


Figure 2.4: Crash Diagram

Source: MRWA Crash Map

3 PROPOSED DEVELOPMENT

3.1 PROPOSED LAND USES

The subdivision plan proposes two different scenarios:

1. **Scenario 1:** 360 residential lots with the subdivision connected to scheme water as shown in **Figure 3.1**.
2. **Scenario 2:** 111 residential lots yield in the draft Local Planning Strategy with no scheme water. At this stage there is no planned lot layout although DVC understands that access onto Jayes Road and the Boyup Brook Arthur Road will be the same as shown for Scenario 1.

3.2 INTERNAL ROAD NETWORK

3.2.1 Scenario 1: 360 Lots

The layout out of the roads shows good internal circulation. Based on the local catchment of each internal road and published trip generation rates (Guide to Traffic Generating Developments, October 2002, Roads and Traffic Authority) most of the internal roads will attract less than 1,000 vpd. The exception to this is Road 1 as shown in **Figure 3.1**. Given that the majority of traffic from the subdivision is expected to travel either to Boyup Brook or further afield via Boyup Brook, it can be expected that Road 1 would carry between 1,000 vpd at the eastern end and around 3,600 vpd at the western end. This is based on a trip rate of 10 trips per dwelling per day which is often applied to metropolitan subdivisions. It could be argued that in a rural setting like Boyup Brook trip generation may not be this high given the relative lack of local destinations and attractions. A trip rate of 10 is therefore considered to be a conservative (high) estimate for trip making for this proposal.

Liveable Neighbourhoods Guidelines (January 2009) Table 4 recommends that internal roads carrying up to 1,000 vpd with a low parking demand should be classified as Access Streets D with a 14.2 m road reserve, a 5.5 m-6 m paved carriageway and a 50 km/h speed limit. Streets carrying up to 3,000 vpd may be classified as Access Streets C with a road reserve of up to 16 m, a 7.2 m carriageway and a 50km/h speed limit. Streets carrying more than 3,000 vpd should be classified as Neighbourhood Connector roads with up to a 24 m road reserve.

A school bus route currently services the rural areas to the east of the site and it is possible that this route will detour through the subdivision. A sensible internal route would follow (from the east at Road 3) the internal loop comprised of Road 3 and Road 2, before exiting the area to the west at Road 1. If this is used as a bus route then it should have an Access Road C classification despite the traffic volumes not requiring this.

Based on the forecast traffic volumes and potential bus route, DVC recommends the following classifications:

Road 1 (Jayes Road to Road 2 west intersection) – Neighbourhood Connector B (20m road reserve if on-street parking lanes are required, otherwise 18m).

Road 1 (Road 2 west to Road 2 east) – Access Street C (16m road reserve)

Road 2 (if used as a bus route) – Access Street C (16m road reserve)

Others – Access Street D (15m road reserve).

Figures 3.2 to 3.4 provide concept cross sections for each road type.

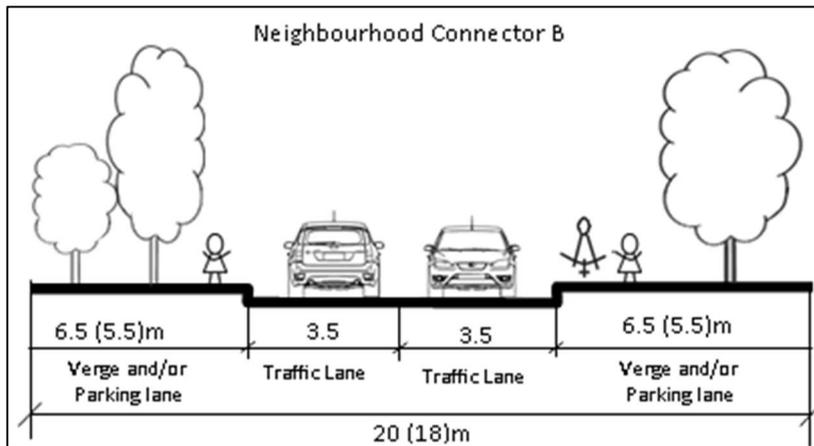


Figure 3.2: Neighbourhood Connector Cross Section

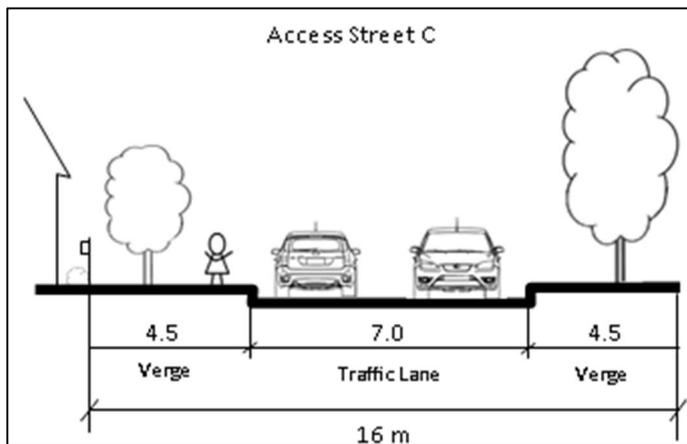


Figure 3.3: Access Street C Cross Section

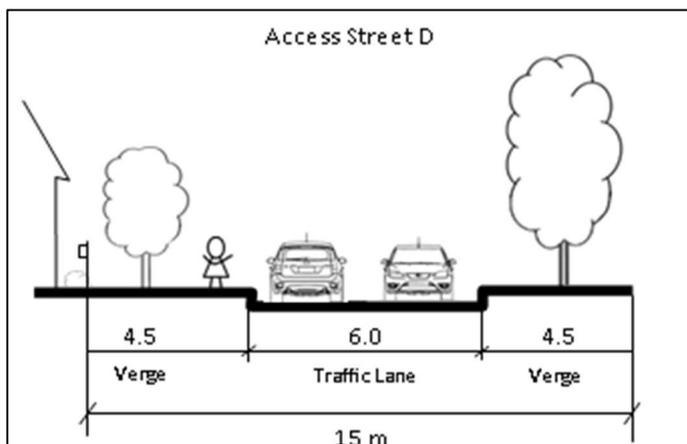


Figure 3.4: Access Street D Cross Section

The proposed subdivision layouts present some long straight sections of internal streets on which speed limits of 50 km/h may easily be exceeded. Liveable Neighbourhoods Table 6 indicates that sections of up to 200 m of Access Streets C&D may not require speed constraint measures if the traffic volumes are low and if on-street parking is likely to be generated. DVC considers that while forecast volumes are likely to be low, there is unlikely to be much on-street parking as the lots will mostly accommodate parking on site. Despite this, it may be acceptable to the Shire not to insist on speed constraint measures.

The four-way intersections between Road1/Road2 and Road2/Road4 will require traffic control, probably small roundabouts. These will reduce speeds to some extent along these roads. In any event additional measures can be introduced at the detailed design stage, if required.

3.2.2 Scenario 2: 111 Lots

Scenario 2 will generate significantly less traffic than Scenario 1 and it is unlikely that any internal road would carry more than 1,000vpd. That being the case all internal roads could have an Access Road D classification with a cross section as shown in **Figure 3.4**.

3.3 ACCESS ARRANGEMENTS

As shown in **Figure 3.1**, the site plan proposes three access roads: Road 1 at Jayes Road and Road 2 and Road 3 along the Boyup Brook Arthur Road.

Intersection sight distances were measured along the major road at each location and are summarised in **Table 3.1**.

Table 3.1: Summary of Sight Distances

Access Road	Sight Distance Left (m)	Sight Distance Right (m)	Comments
Road 1	350m	> 200m	SD is an estimate of the achievable SD once modest vegetation in the verge has been removed. (See discussion later in this section)
Road 2	>400m	>350m	Excellent SD both directions
Road 3	>350m	Approx 200m	SD in both directions is an estimate of achievable SD once vegetation in the verge has been removed. The road crests and curves to the right, limiting this sight distance.

Photos 1-6 illustrate the views from the access road locations and the vegetation currently growing in the verge.



Photo 1: Road 1 View Looking South



Photo 2: Road 1 View Looking from North to Intersection



Photo 3: Road 2 View Looking East



Photo 4: Road 2 View Looking West



Photo 5: Road 3 View Looking East



Photo 6: Road 3 View Looking West

Equation 2 in the Austroads Guide to Road Design Part 4A: Unsignalised and Signalised Intersections provides guidance on calculating the Safe Intersection Sight Distance (SISD) at intersections. SISD is the minimum sight distance which should be provided on the major road at any intersection. Given the high percentage of trucks using the nearby roads (see **Table 2.1** above) the required SISD has been checked for trucks in the 100km/h and 80km/h speed limit area as follows:

Posted Speed Limit	SISD for Trucks *	SISD for Cars**
80km/h	245m	214m
100km/h	330m	285m

* Equation 2 from Austroads Part 4A

** MRWA Supplement to Austroads Part 4A

(* – this assumes that the Design Speed is 10km/h higher than the posted speed limit (as required by MRWA), the coefficient of deceleration for trucks is 0.29, there is a downhill grade of 2% and the Decision Time is 5seconds).

Road 3 does not maintain a SISD of 330m to the right for trucks or 285m for cars. This being the case it may be possible to relocate the Road 3 intersection further to the west and to recommend a reduction of the speed limit along that section of road. The latter would appear to be sensible given that there will be a residential frontage along the road on the south side i.e. this will become a built-up environment and 80km/h speed limits would be expected by road users. While Road 3 is not expected to carry significant traffic it may provide a bushfire plan alternative exit and should therefore be retained.

Road 1 generally has good sight distance to the right but on-site measurement past the 200m mark is made difficult by the vegetation. This road will be in a cutting when constructed and through modest reshaping of the cut to the right and cleared verges, DVC considers that the required sight distances will be achieved for the current 80km/h speed limit. There is also scope to review the speed limit on Jayes Road between Boyup Brook North Road and south of the Road 1 intersection. In addition, the land falls away from the Boyup Brook-Arthur Road on the eastern side, further reducing visual obstruction there. In any event this should be checked during detailed design.

4 ANALYSIS OF EXTERNAL ROAD NETWORK

This transport assessment has been undertaken assuming the full development of Scenario 1. When full development will occur is dependent on a range of factors affecting demand, including economic activity in the area. If a forecast uptake of about 50 properties per year is achieved, full development would be achieved in about 8 years. Based on this, it has been assumed that for the purposes of this traffic assessment that full development will occur in 2030.

4.1 TRIP GENERATION RATES

4.1.1 Scenario 1: 360 Lots Trip Generation

Peak hour trip generation for the proposed development has been based on the Residential Rates in Table 2 of Western Australia Planning Commission (WAPC) *Transport Assessment Guidelines for Developments (2016) Volume 3*.

The residential lots are estimated to generate about 290 trips during the peak hour as shown in **Table 4.1**.

Table 4.1: Trip Generation of Proposed Developments – Scenario 1

Site	Dwellings	Rates				Trips			
		AM In	AM Out	PM In	PM Out	AM In	AM Out	PM In	PM Out
Scenario 1	360	0.2	0.6	0.5	0.3	72	216	180	108
						288		288	

The Roads and Traffic Authority’s (RTA) Guide to Traffic Generating Developments suggests a daily trip rate of 9-10 trips per dwelling. This translates to about 3,240-3,600 trips per day to the subject site split 50/50 inbound and outbound trips.

4.1.2 Scenario 2: 111 Lots Trip Generation

Trip generation rates applied to Scenario 2 are shown in **Table 4.2** and indicate that peak hour trips will reach about 90vph. Daily trips would be between 1,000 – 1,200.

Table 4.2: Trip Generation of Proposed Developments – Scenario 2

Site	Dwellings	Rates				Trips			
		AM In	AM Out	PM In	PM Out	AM In	AM Out	PM In	PM Out
Scenario 2	111	0.2	0.6	0.5	0.3	22	67	56	33
						89		89	

4.2 TRIP DISTRIBUTION & ASSIGNMENT

Based on discussions with engineering staff at the Shire, it has been assumed that 90% of traffic from the proposed development will have destinations in Boyup Brook itself, or will travel via the township to destinations further afield such as Bridgetown, Kojonup or Collie. The remaining 10% of development traffic is assumed to travel east towards Dinninup (5%) or north on the Boyup Brook Road North (5%). Based on these traffic distributions it has been assumed access Road 1 will carry 90% of the traffic with access Roads 2 and 3 each carrying 5% of the traffic demand. This is shown graphically in **Figures 4.1** and **4.2** for the AM and PM Peak hours respectively.

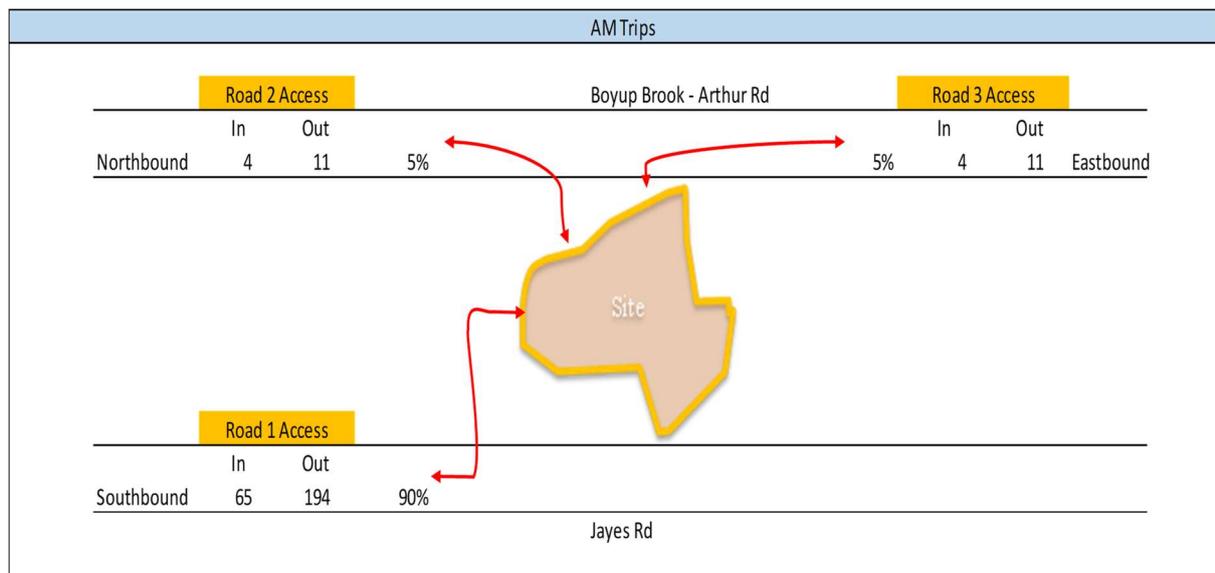


Figure 4.1: AM Peak Hour Trip Distribution

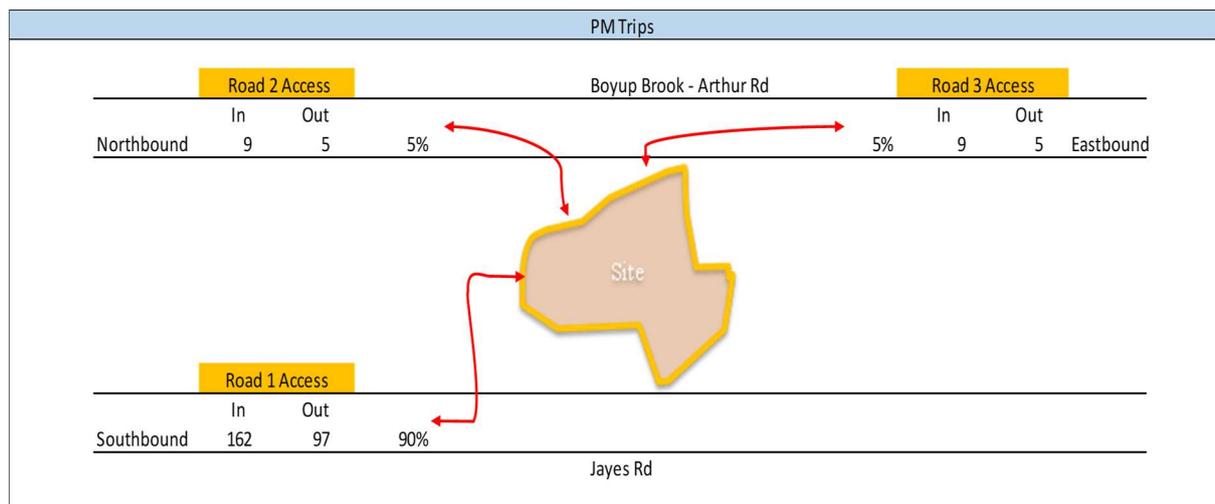


Figure 4.2: PM peak Hour Trip Distribution

4.3 ROAD AND INTERSECTION CAPACITIES

Boyup Brook Arthur Road is classified as a Regional Distributor Road and operates at a 100 km/h speed limit adjacent to the sites. The road is presently a two-lane undivided facility and is assumed to carry around 550vpd on weekdays (see Section 2.4 - Traffic Volumes).

The expected increase in traffic from the development is of the order of 288vph, most of which would travel towards Boyup Brook. This increase can be readily accommodated within the practical capacity of Jayes Road in this vicinity.

A SIDRA intersection analysis was undertaken on the Jayes Road/Road 1 intersection. SIDRA is an intersection-modelling tool commonly used by traffic engineers for all types of intersection analysis. It has been used here to determine the existing and future operating characteristics of the intersection.

SIDRA outputs are presented in the form of Degree of Saturation, Level of Service, Average Delay and 95% Queue. These characteristics are defined as follows:

Degree of Saturation: is the ratio of the arrival traffic flow to the capacity of the approach during the same period. The Degree of Saturation ranges from close to zero for varied traffic flow up to one for saturated flow or capacity.

Level of Service (LOS): is the qualitative measure describing operational conditions within a traffic stream and the perception by motorists and/or passengers. In general, there are 6 levels of service, designated from A to F, with Level of Service A representing the best operating condition (i.e. free flow) and Level of Service F the worst (i.e. forced or breakdown flow).

Average Delay: is the average of all travel time delays for vehicles passing through the intersection.

95% Queue: is the queue length below which 95% of all observed queue lengths fall.

Given the low background traffic volumes on Jayes Road (30vph in each direction during the peak hour), the intersection of Jayes Road and Road 1 will not experience any significant congestion. This intersection will operate at a Level of Service A based on a single lane approach in each direction at opening (when all 360 lots are developed). Even if the background traffic increases by a compound growth rate of 2% for 20 years the intersection is unlikely to experience any significant congestion. The other 2 access road intersections will also not experience any significant congestion.

4.4 TURNING LANE WARRANTS

While the SIDRA modelling has demonstrated the intersections will not experience any significant congestion, warrants for improvements are tested to ensure the safe operation of intersections. In some cases, such improvements may potentially be warranted on the basis of intersection operating speed and the opposing turning movements.

DVC has assessed the need for improvements to the intersection (Road1 Access) based on MRWA's *Supplement to Austroads Guide to Road Design (AGRD) Part 4*. The following assumptions have been made for this assessment:

- Existing traffic volumes on Boyup Brook Arthur Road – 30vph in each direction (based on Boyup Brook Kojonup Road traffic).
- Heavy vehicle traffic- 25% on the main road (based on Boyup Brook Kojonup Road) and 5% on the subdivision roads.

- Opening year 2030 – the year in which all subdivision lots are occupied.
- Background traffic growth rate – scenario tested 3% compound per annum.
- Design speed - 10km/h higher than the posted speed limit.

4.4.1 Scenario 1: 360 Lots

The analysis shows that based on a 3% compound growth rate for the background traffic, an Auxiliary Right Turn lane would be required at the intersection of Access Road 1 and Jayes Road in about 18 years time (say 2039). See Appendix A. No auxiliary lanes would be required at the other access road intersections during this time.

DVC considers it unlikely that a sustained compound growth rate of 3% would be achieved unless fresh industry (e.g. mining, tourism etc) were to be introduced which directly affected traffic in the area. On the South Western Highway just north of Greenbushes for example, the MRWA Traffic Map shows that traffic volumes have remained reasonable steady from 2017 to 2022 (see **Figure 4.3**). In any event it would seem unlikely that any auxiliary lane is required in the near future. This delay provides an opportunity to monitor traffic volumes and growth rates on Jayes Road and, in the event that high future traffic growth is achieved in the area, introduce additional lanes if and when warranted.

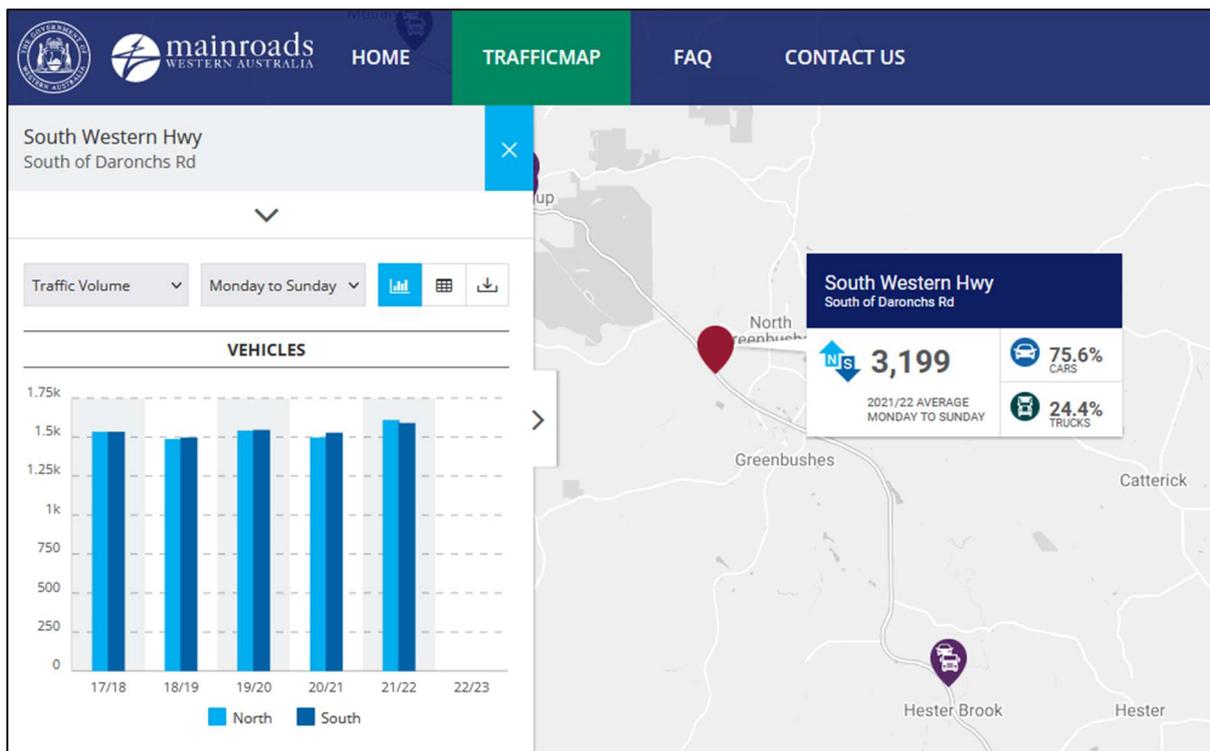


Figure 4.3: Traffic Volumes on South Western Highway (Source: MRWA Traffic Map)

4.4.2 Scenario 2: 111 Lots

No auxiliary traffic lanes are required in the foreseeable future at any of the access road intersections under this scenario.

4.5 ROAD SAFETY

The crash record for the surrounding road network does not point to any particular road safety issues.

5 SUSTAINABLE TRANSPORT

5.1 BUS ROUTES

Scheduled commuter bus services in regional towns are rare and it is unlikely that such a service will be introduced in Boyup Brook, even in the medium-term future. There may be bespoke services to cater for tourists, aged or disabled persons for example, but these will have little impact on peak hour traffic conditions.

The Shire has advised of a school bus service which uses Boyup Brook Arthur Road and supports the Boyup Brook District High School. This route could easily be adapted to service the proposed subdivision.

5.2 PEDESTRIAN AND CYCLE ACCESS FACILITIES

Liveable Neighbourhoods indicates that footpaths should be provided on at least one side of all Access Streets. However, we have observed that in rural settings such as these where pedestrian usage and destinations may be limited, footpaths are not always provided. The low traffic volumes forecast here generally point to shared on-street pedestrian, cycle and vehicle movements. It may therefore be acceptable to the Shire to only negotiate specific locations within the site where a footpath is required, for example adjoining Road 1 west of Road 2, or adjacent to public open space.

Boyup Brook is included in the Warren-Blackwood 2050 Cycling Strategy which proposes a cycle route along the railway line from Jayes Road to the Flaxmill Caravan Park, and two tourist routes along the Katanning Railway alignment to Donnybrook and along the Blackwood River valley to Bridgetown. There are also local routes proposed connecting residential areas in the townsite itself.

The gradient along Jayes Road from the townsite to the Access Road 1 doesn't favour cyclists. Therefore the Katanning Railway route would appear to offer the best opportunity for cyclists from the proposed subdivision. This is supported by the proposed walk/cycle track connections shown in **Figure 3.1**. The river route which meets the Katanning railway reserve at Skeleton Bridge, would provide good access to the lower (southern) side of the town and the High School. As it constitutes part of the 2050 Cycling Strategy, some limited funding may be available from the State Government to assist its implementation. The route shown via Ritson Street may also be suitable as it avoids the long hill up Jayes Road and enters the town from the northern side. While there are no Shire plans to extend Ritson Street past its current construction (to the south-west corner of Lot 46 (No107) Ritson Street) the road reserve does extend east to connect with the Blackwood River foreshore. Accordingly, subject to Shire requirements, there is scope to additionally create a walk/cycle connection between the site and Boyup Brook via Ritson Street.

6 SUMMARY AND RECOMMENDATIONS

6.1 SUMMARY

This Transport Impact Assessment (TIA) has been prepared by Donald Veal Consultants on behalf of Leaffield Pty Ltd, with regard to the proposed subdivision development on Lots 51, 1007, 1118 Boyup Brook Arthur Road, Boyup Brook. Two development scenarios are covered in this assessment: 360 lots with scheme water and 111 without scheme water.

The site lies within the Shire of Boyup Brook, with the western boundary of the site around 1.5km north-east of the Boyup Brook townsite. It is bounded by Boyup Brook Arthur Road to the north, Jayes Road to the west and the Blackwood River to the southeast. Boyup Brook North Road intersects with Boyup Brook Arthur Road and Jayes Road to the northwest of the site.

Boyup Brook Arthur Road and Jayes Road are classified as a Regional Distributor Road and Boyup Brook North Road is classified as a Local Distributor under Main Roads Western Australia's (MRWA's) Functional Road Hierarchy. Boyup Brook Arthur Road has a posted speed limit of 100km/h. Jayes Road generally has a posted speed limit of 80km/h, which reduces to 60km/h at the intersection of Jayes Road and Ritson Street and to the south. It then decreases to 50km/h through the Boyup Brook townsite.

Boyup Brook North Road has a rural, open area default speed limit of 110 km/h.

No existing traffic counts were available from the MRWA Traffic Map on the Boyup Brook Arthur Road. Discussions with the Shire indicate that the Boyup Brook Arthur Road does not carry as much traffic as either the Donnybrook Road or the Bridgetown Road. Therefore for the purposes of this assessment, it has been assumed that the Boyup Brook Arthur Road carries similar levels of traffic to the Boyup Brook-Kojonup Road i.e. about 550vpd.

The MRWA CARS database was interrogated to identify the history of crashes occurring along Boyup Brook Arthur Road and Jayes Road between Ritson Street and Thompson Road in the latest 5-year reporting period, 2017 – 2021. The database returned records of only 2 crashes within this period. One involved hitting an object and one a non-collision crash. Both crashes were property damage only.

The proposed Scenario 1 Subdivision Plan comprises 360 lots. An access is proposed onto Jayes Road just south of the Boyup Road North intersection. Two accesses are proposed onto the Boyup Brook Arthur Road east of this intersection. For Scenario 2 (111 lots) no subdivision plan is available but it is understood that access is likely to be at the same locations as proposed for Scenario 1.

Under Scenario 1 the internal roads will typically carry low volumes of traffic and should be classified as Access Streets C and D as defined by the WAPC Liveable Neighbourhoods Guidelines. Road 1 access onto Jayes Road will carry slightly higher volumes and towards the western end attracts a Neighbourhood Connector classification. Under Scenario 1 all roads should attract an Access Street D classification.

Sight distances at the proposed accesses onto the Boyup Brook Arthur Road have been examined. The easternmost access does not maintain a satisfactory sight distance for the 100km/h speed limit there. It should be possible to move this intersection further to the west and reduce the speed limit in this area.

Road 1 generally has good sight distance to the right but on-site measurement past the 200m mark is made difficult by the vegetation. This road will be in a cutting when constructed and through modest reshaping of the cut to the right, DVC considers that the required sight distances will be achieved. In any event this should be checked during detailed design.

Peak hour trip generation for the proposed development has been based on WAPC guidelines for residential development. Scenario 1 is expected to generate about 288 trips during the peak hour (inbound and outbound) or conservatively about 3200-3600 trips per day.

A SIDRA analysis was undertaken for the opening year (assumed to be 2030) and the opening +10 years (2040) to demonstrate the impact of traffic growth at the intersection Access Road 1 and Jayes Road for Scenario 1.). Even if the background traffic increases by a compound growth rate of 2% for 20 years the intersection is unlikely to experience any significant congestion. The other 2 access road intersections will also not experience any significant congestion.

Turning lane warrants were examined for this intersection using MRWA's *Supplement to Austroads Guide to Road Design (AGRD) Part 4*. The analysis shows that based on a 3% compound growth rate for the background traffic, an Auxiliary Right Turn lane would be required at the intersection of Access Road 1 and Jayes in about 18 years time (say 2039). No auxiliary lanes would be required at the other access road intersections during this time. DVC considers that a compound growth of 3% per year is optimistic. While some growth at this rate may be achieved it is unlikely that sustained, compound traffic growth will be achieved over 20 years. DVC therefore considers that auxiliary lanes are not warranted.

Scheduled commuter bus services in regional towns are very rare and unlikely to be introduced here. The Shire has advised of a school bus service which uses Boyup Brook Arthur Road and supports the Boyup Brook District High School. This route could easily be adapted to service the proposed subdivision.

Boyup Brook is included in the Warren-Blackwood 2050 Cycling Strategy which proposes a cycle route along the railway line from Jayes Road to the Flaxmill Caravan Park, and two tourist routes along the Katanning railway line alignment to Donnybrook and along the Blackwood River valley to Bridgetown. There are also local routes proposed connecting residential areas in the townsite itself. There may be merit in investigating state funding for the early implementation of the Blackwood River link to support pedestrian and cycle traffic from the subdivision into Boyup Brook.

The crash record for the surrounding road network does not point to any particular road safety issues.

6.2 RECOMMENDATIONS

DVC recommends that the location of the Access Road 3 intersection with the Boyup Brook Arthur Road be moved further west in conjunction with a reduction of the speed limit to 80km/h to provide adequate sight distance.

Based on the above assessment we recommend approval of the proposed subdivision scenarios from a traffic, transport and road safety perspective.

APPENDIX A: INTERSECTION WARRANTS

Opening Year PM Peak – 3 % growth rate

INTERSECTION WARRANTS

Main Roads WA Supplement to Austroads Guide to Road Design - Part 4 A.8

DESIGN SPEED = 90km/h
 SPLITTER ISLAND YES / NO = No
 DUAL CARRIAGEWAY YES / NO = No

MOVEMENT	COUNT (v/h)	HV (%)
Q _{T1} =	40	25
Q _R =	162	5
Q _{T2} =	40	13.5
Q _L =	10	5

RIGHT TURN ASSESSMENT

Q_m = 90
 % HV = 17.667
 x = 1.15
 TREATMENT = **BAR**

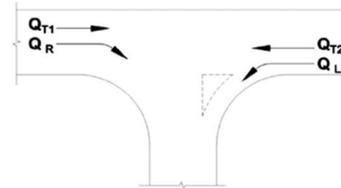
LEFT TURN ASSESSMENT

Q_m = 40
 % HV = 13.500
 x = 0.17
 TREATMENT = **BAL**

Source: Austroads GTM Part 6 - 2017

Guide to Traffic Management Part 6: Intersections, Interchanges and Crossings

Figure 2.27: Calculation of the major road traffic volume Q_m



Road type	Turn type	Splitter island	Q _m (veh/h)
Two-lane two-way	Right	No	= Q _{T1} + Q _{T2} + Q _L
		Yes	= Q _{T1} + Q _{T2}
Four-lane two-way	Right	No	= 50% x Q _{T1} + Q _{T2} + Q _L
		Yes	= 50% x Q _{T1} + Q _{T2}
Six-lane two-way	Right	No	= 33% x Q _{T1} + Q _{T2} + Q _L
		Yes	= 33% x Q _{T1} + Q _{T2}
Two-lane two-way	Left	Yes or no	= Q _{T2}
		Yes or no	= 50% x Q _{T2}
Six-lane two-way	Left	Yes or no	= 33% x Q _{T2}
		Yes or no	= 33% x Q _{T2}

Source: TMR (2016a).

Opening + 10 Years PM Peak – 3 % growth rate

INTERSECTION WARRANTS

Main Roads WA Supplement to Austroads Guide to Road Design - Part 4 A.8

DESIGN SPEED = 90km/h
 SPLITTER ISLAND YES / NO = No
 DUAL CARRIAGEWAY YES / NO = No

MOVEMENT	COUNT (v/h)	HV (%)
Q _{T1} =	55	25
Q _R =	162	5
Q _{T2} =	55	25
Q _L =	10	5

RIGHT TURN ASSESSMENT

Q_m = 120
 % HV = 23.333
 x = 1.55
 TREATMENT = **AUR**

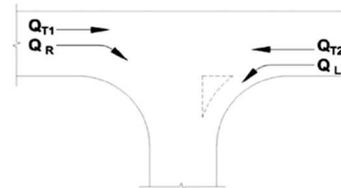
LEFT TURN ASSESSMENT

Q_m = 55
 % HV = 25.000
 x = 0.25
 TREATMENT = **BAL**

Source: Austroads GTM Part 6 - 2017

Guide to Traffic Management Part 6: Intersections, Interchanges and Crossings

Figure 2.27: Calculation of the major road traffic volume Q_m



Road type	Turn type	Splitter island	Q _m (veh/h)
Two-lane two-way	Right	No	= Q _{T1} + Q _{T2} + Q _L
		Yes	= Q _{T1} + Q _{T2}
Four-lane two-way	Right	No	= 50% x Q _{T1} + Q _{T2} + Q _L
		Yes	= 50% x Q _{T1} + Q _{T2}
Six-lane two-way	Right	No	= 33% x Q _{T1} + Q _{T2} + Q _L
		Yes	= 33% x Q _{T1} + Q _{T2}
Two-lane two-way	Left	Yes or no	= Q _{T2}
		Yes or no	= 50% x Q _{T2}
Six-lane two-way	Left	Yes or no	= 33% x Q _{T2}
		Yes or no	= 33% x Q _{T2}

Source: TMR (2016a).



Boyup Brook CoMHAT

- 📞 0416 156 404
- ✉️ comhatbb@gmail.com
- 📍 Boyup Brook WA 6244

Dear Mr Dale Putland

January 16, 2023

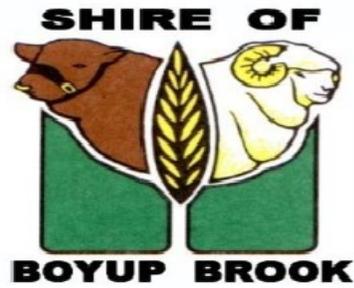
I am writing to you on behalf of the Boyup Brook Community Mental Health Action Team (CoMHAT) Inc to request a variation to the site location of the proposed Youth Zone Donga as per the diagram and photo attached.

We would also like to request to run and power and water for the dongar and connect grey water to septic at existing services at the toilet block below.

Sincerely,

Renee Knapp

Chairperson, Boyup Brook CoMHAT



MONTHLY FINANCIAL REPORT

31 JANUARY 2023

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**SHIRE OF BOYUP BROOK
STATEMENT OF COMPREHENSIVE INCOME
FOR THE PERIOD ENDING 31 JANUARY 2023**

	2022-23 ANNUAL	2022-23 YTD	2022-23 YTD	
	BUDGET	BUDGET	ACTUAL	VARIANCE
EXPENDITURE (Excluding Finance Costs)	\$		\$	
General Purpose Funding	(145,178)	(77,271)	(72,555)	-6%
Governance	(413,820)	(285,357)	(214,225)	-25%
Law, Order, Public Safety	(463,227)	(250,606)	(178,786)	-29%
Health	(1,469,083)	(764,743)	(750,310)	-2%
Education and Welfare	(364,318)	(222,383)	-200,768	-10%
Housing	(290,520)	(153,399)	(55,105)	-64%
Community Amenities	(513,481)	(291,085)	(216,815)	-26%
Recreation and Culture	(1,327,709)	(786,695)	(533,290)	-32%
Transport	(4,639,044)	(2,580,105)	(890,733)	-65%
Economic Services	(642,550)	(297,540)	(199,501)	-33%
Other Property and Services	(848,431)	(435,498)	(251,428)	-42%
Total Operating Expenditure	(11,117,360)	(6,144,682)	(3,563,518)	
REVENUE				
General Purpose Funding	3,898,556	3,620,409	3,628,313	0%
Governance	0	0	2,000	0%
Law, Order, Public Safety	177,392	101,329	120,536	19%
Health	1,102,800	582,011	354,371	-39%
Education and Welfare	210,000	141,624	13,541	-90%
Housing	211,852	39,752	43,021	8%
Community Amenities	224,823	218,967	228,304	4%
Recreation and Culture	55,995	50,082	52,632	5%
Transport	216,105	202,376	211,956	5%
Economic Services	118,115	55,637	50,445	-9%
Other Property & Services	881,227	377,223	636,283	69%
Total Operating Revenue	7,096,865	5,389,410	5,341,402	
Sub-Total	(4,020,495)	(755,272)	1,777,884	
FINANCE COSTS				
Housing	(1,841)	(975)	(1,777)	82%
Recreation & Culture	(3,354)	(2,003)	(975)	-51%
Total Finance Costs	(5,195)	(2,978)	(2,752)	
NON-OPERATING REVENUE				
Law, Order & Public Safety	31,360	31,360	0	-100%
Recreation & Culture	95,714	0	20,000	0%
Transport	2,692,840	1,467,145	1,104,741	-25%
Economic Services	75,687	0	0	0%
Total Non-Operating Revenue	2,895,601	1,498,505	1,124,741	
PROFIT/(LOSS) ON SALE OF ASSETS				
Housing Profit	0	0	0	
Transport Profit	0	0	0	
Transport Loss	0	0	0	
Total Profit/(Loss)	0	0	0	
NET RESULT	(1,130,089)	740,256	2,899,873	
Other Comprehensive Income				
Changes on revaluation of non-current assets	0	0	0	
	0	0	0	
TOTAL COMPREHENSIVE INCOME	(1,130,089)	740,256	2,899,873	

"Traffic Lights" Colour Coding:

For the purposes of identifying "material variances" under Local Government (Financial Management) Regulation 34, the Council has defined a formula in Council Policy 2.1.6 (see also Variance Report in these Statements).

To simplify this reporting, a traffic light system is used in the variance column of the Statement of Comprehensive Income and the Rate Setting Statement, as follows:

Revenue:

Green = Actual Revenue is greater than Year-to-Date budgeted revenue by 10% or more

Red = Variance between Actual Revenue and Year-to-Date budget is greater than 10% (lower)

Expenditure:

Green = Actual Expenditure is less than Year-to-Date budgeted expenditure

Red = Variance between Actual Expenditure and Year-to-Date budget is greater than 10% (higher)



SHIRE OF BOYUP BROOK
STATEMENT OF COMPREHENSIVE INCOME
BY NATURE/TYPE
FOR THE PERIOD ENDING 31 JANUARY 2023

	2022-23 ORIGINAL BUDGET	2022-23 YTD BUDGET	2022-23 YTD ACTUAL	VARIANCE
Expenses				
Employee Costs	(3,551,787)	(1,877,313)	(2,251,689)	20%
Materials and Contracts	(3,156,906)	(1,559,294)	(792,062)	-49%
Utility Charges	(216,229)	(122,887)	(89,564)	-27%
Depreciation on Non-Current Assets	(3,586,909)	(2,026,416)	0	-100%
Interest Expenses	(6,550)	(3,542)	(2,752)	-22%
Insurance Expenses	(284,780)	(273,405)	(260,719)	-5%
Other Expenditure	(319,394)	(284,802)	(169,485)	-40%
Total Operating Expenses	(11,122,555)	(6,147,659)	(3,566,270)	
Revenue				
Rates	3,334,797	3,334,047	3,334,605	0%
Operating Grants, Subsidies and Contributions	1,020,146	543,607	571,337	5%
Fees and Charges	1,812,135	1,107,389	755,204	-32%
Interest Earnings	26,150	18,557	15,991	-14%
Other Revenue	903,637	385,810	664,265	72%
Total Operating Revenue	7,096,865	5,389,410	5,341,402	
Sub-Total	(4,025,690)	(758,249)	1,775,132	
Non-Operating Grants, Subsidies & Contributions	2,895,601	1,498,505	1,124,741	-25%
Profit on Asset Disposals	0	0	0	0%
Loss on Asset Disposals	0	0	0	0%
	2,895,601	1,498,505	1,124,741	
Net Result	(1,130,089)	740,256	2,899,873	
Other Comprehensive Income				
Changes on revaluation of non-current assets	0	0	0	
Total Other Comprehensive Income	0	0	0	
TOTAL COMPREHENSIVE INCOME	(1,130,089)	740,256	2,899,873	

SHIRE OF BOYUP BROOK
FINANCIAL ACTIVITY STATEMENT BY NATURE/TYPE
FOR THE PERIOD ENDING 31 JANUARY 2023

	2022-23 ORIGINAL BUDGET	2022-23 YTD BUDGET (a)	2022-23 YTD ACTUAL (b)	MATERIAL \$ (b)-(a)	MATERIAL % (b)-(a)/(a)	VAR
OPERATING REVENUE	\$	\$	\$			
Ex-Gratia Rates & Write-offs	2,062	1,312	1390	Within Threshold	Within Threshold	
Operating Grants, Subsidies and Contributions	1,020,146	543,607	571,337	27,731	Within Threshold	
Fees and Charges	1,812,135	1,107,389	755,204	(352,185)	(31.80%)	▼
Interest Earnings	26,150	18,557	15,991	Within Threshold	(13.83%)	
Other Revenue	903,637	385,810	664,265	278,456	72.17%	▲
Profit on Disposal of Asset	0	0	0	Within Threshold	0%	
Total Operating Revenue	3,764,130	2,056,675	2,008,187	(45,999)		
LESS OPERATING EXPENDITURE						
Employee Costs	(3,551,787)	(1,877,313)	(2,074,417)	(197,103)	10.50%	
Materials and Contracts	(3,156,906)	(1,559,294)	(969,334)	589,961	(37.84%)	
Utility Charges	(216,229)	(122,887)	(89,564)	33,323	(27.12%)	
Depreciation on Non-Current Assets	(3,586,909)	(2,026,416)	0	2,026,416	(100.00%)	
Interest Expenses	(6,550)	(3,542)	(2,752)	Within Threshold	(22.31%)	
Insurance Expenses	(284,780)	(273,405)	(260,719)	12,686	Within Threshold	
Other Expenditure	(319,394)	(284,802)	(169,485)	115,317	(40.49%)	
Loss on Disposal of Asset	0	0	0	Within Threshold	0%	
Total Operating Expenses	(11,122,555)	(6,147,659)	(3,566,270)	2,580,599		
Sub-Total	(7,358,425)	(4,090,984)	(1,558,083)	2,534,600		
NON-CASH OPERATING ACTIVITIES EXCLUDED FROM BUDGET						
Movement in Employee Provisions (Non-current)	44,635	0	0	Within Threshold	0%	
Movement in Accrued Interest Expense	0	0	0	Within Threshold	0%	
(Profit)/ Loss on the disposal of assets	0	0	0	Within Threshold	0%	
Depreciation Written Back	3,586,909	2,026,416	0	(2,026,416)	(100.00%)	▼
Operating Activities Excluded from Budget	3,631,544	2,026,416	0	(2,026,416)		
Sub Total	(3,726,881)	(2,064,569)	(1,558,083)	508,184		
INVESTING ACTIVITIES						
Purchase of Land	0	0	0	Within Threshold	0%	
Purchase Buildings	(795,500)	(581,500)	(94,013)	487,487	(83.83%)	
Purchase Plant and Equipment	(755,260)	(425,760)	(218,198)	207,562	(48.75%)	
Purchase Furniture and Equipment	(17,680)	(17,680)	(9,024)	Within Threshold	(48.96%)	
Infrastructure Assets - Roads	(2,897,857)	(2,369,493)	(1,383,713)	985,780	(41.60%)	
Infrastructure Assets - Footpaths	(75,075)	0	0	Within Threshold	0%	
Infrastructure Assets - Aerodromes	0	0	841	Within Threshold	0%	
Infrastructure Assets - Drainage	(217,203)	(164,703)	(6,488)	158,215	(96.06%)	
Infrastructure Assets - Parks & Ovals	(100,000)	0	0	Within Threshold	0%	
Infrastructure Assets - Recreation	(150,000)	0	(9,781)	Within Threshold	0%	
Infrastructure Assets - Other	(344,179)	(268,907)	(68,310)	200,597	(74.60%)	
Proceeds from Sale of Assets	175,000	75,000	40,000	(35,000)	(46.67%)	▼
Contributions for the Development of Assets	2,895,601	1,498,505	1,124,741	(373,765)	(24.94%)	▼
Amount Attributable to Investing Activities	(2,282,153)	(2,254,538)	(623,946)	1,630,877		
FINANCING ACTIVITIES						
Repayment of Debt - Loan Principal	(40,608)	(21,751)	(10,536)	11,215	(51.56%)	
Transfer to Reserves	(101,000)	(583)	0	Within Threshold	(100.00%)	
Amount Attributable to Financing Activities	(141,608)	(22,334)	(10,536)	11,215		
Sub Total	(6,150,642)	(4,341,441)	(2,192,564)	2,150,276		
FUNDING FROM						
Transfer from Reserves	154,100	0	0	Within Threshold	0%	
Loans Raised	250,000	0	0	Within Threshold	0%	
Estimated Opening Surplus at 1 July	2,413,807	2,413,807	2,375,392	(38,415)	Within Threshold	
Amount Raised from General Rates	3,332,735	3,332,735	3,333,214	Within Threshold	Within Threshold	
Closing Funds	0	0	0	Within Threshold	0%	
NET SURPLUS/(DEFICIT)	(0)	1,405,101	3,516,042	2,110,941		

SHIRE OF BOYUP BROOK
BUDGET REVIEW FINANCIAL ACTIVITY STATEMENT BY FUNCTION/PROGRAM
FOR THE PERIOD ENDING 31 JANUARY 2023

	2022-23 ORIGINAL BUDGET	2022-23 YTD BUDGET (a)	2022-23 YTD ACTUAL (b)	MATERIAL \$ (b)-(a)	MATERIAL % (b)-(a)/(a)	VAR
OPERATING REVENUE	\$	\$	\$			
General Purpose Funding	565,821	287,674	295,099	Within Threshold	Within Threshold	
Governance	0	0	2,000	Within Threshold	0%	
Law, Order Public Safety	177,392	101,329	120,536	19,207	18.96%	▲
Health	1,102,800	582,011	354,371	(227,640)	(39.11%)	▼
Education and Welfare	210,000	141,624	13,541	(128,083)	(90.44%)	▼
Housing	211,852	39,752	43,021	Within Threshold	Within Threshold	
Community Amenities	224,823	218,967	228,304	Within Threshold	Within Threshold	
Recreation and Culture	55,995	50,082	52,632	Within Threshold	Within Threshold	
Transport	216,105	202,376	211,956	Within Threshold	Within Threshold	
Economic Services	118,115	55,637	50,445	Within Threshold	Within Threshold	
Other Property and Services	881,227	377,223	636,283	259,060	68.68%	▲
Total Operating Revenue	3,764,130	2,056,675	2,008,188	(77,456)		
LESS OPERATING EXPENDITURE						
General Purpose Funding	(145,178)	(77,271)	(72,555)	Within Threshold	Within Threshold	
Governance	(413,820)	(285,357)	(214,225)	71,131	(24.93%)	
Law, Order, Public Safety	(463,227)	(250,606)	(178,786)	71,820	(28.66%)	
Health	(1,469,083)	(764,743)	(750,310)	14,433	Within Threshold	
Education and Welfare	(364,318)	(222,383)	(200,768)	21,615	Within Threshold	
Housing	(292,361)	(154,374)	(56,882)	97,491	(63.15%)	
Community Amenities	(513,481)	(291,085)	(216,815)	74,270	(25.51%)	
Recreation and Culture	(1,331,063)	(788,698)	(534,265)	254,433	(32.26%)	
Transport	(4,639,044)	(2,580,105)	(890,733)	1,689,372	(65.48%)	
Economic Services	(642,550)	(297,540)	(199,501)	98,039	(32.95%)	
Other Property & Services	(848,431)	(435,498)	(251,428)	184,070	(42.27%)	
Total operating Expenses	(11,122,555)	(6,147,659)	(3,566,270)	2,576,674		
Sub-Total	(7,358,425)	(4,090,984)	(1,558,082)	2,499,219		
NON-CASH OPERATING ACTIVITIES EXCLUDED FROM BUDGET						
Movement in Employee Provisions (Non-current)	44,635	0	0	Within Threshold	0%	
Movement in Accrued Interest Expense	0	0	0	Within Threshold	0%	
(Profit)/ Loss on the disposal of assets	0	0	0	Within Threshold	0%	
Depreciation Written Back	3,586,909	2,026,416	0	(2,026,416)	(100.00%)	▼
Operating Activities Excluded from Budget	3,631,544	2,026,416	0	(2,026,416)		
Sub Total	(3,726,881)	(2,064,569)	(1,558,082)	472,803		
INVESTING ACTIVITIES						
Purchase of Land	0	0	0	Within Threshold	0%	
Purchase Buildings	(795,500)	(581,500)	(94,013)	487,487	(83.83%)	
Purchase Plant and Equipment	(755,260)	(425,760)	(218,198)	207,562	(48.75%)	
Purchase Furniture and Equipment	(17,680)	(17,680)	(9,024)	Within Threshold	(48.96%)	
Infrastructure Assets - Roads	(2,897,857)	(2,369,493)	(1,383,713)	985,780	(41.60%)	
Infrastructure Assets - Footpaths	(75,075)	0	0	Within Threshold	0%	
Infrastructure Assets - Aerodromes	0	0	841	Within Threshold	0%	
Infrastructure Assets - Drainage	(217,203)	(164,703)	(6,488)	158,215	(96.06%)	
Infrastructure Assets - Parks & Ovals	(100,000)	0	0	Within Threshold	0%	
Infrastructure Assets - Recreation	(150,000)	0	(9,781)	Within Threshold	0%	
Infrastructure Assets - Other	(344,179)	(268,907)	(68,310)	200,597	(74.60%)	
Proceeds from Sale of Assets	175,000	75,000	40,000	(35,000)	(46.67%)	▼
Contributions for the Development of Assets	2,895,601	1,498,505	1,124,741	(373,765)	(24.94%)	▼
Amount Attributable to Investing Activities	(2,282,153)	(2,254,538)	(623,946)	1,630,877		
FINANCING ACTIVITIES						
Repayment of Debt - Loan Principal	(40,608)	(21,751)	(10,536)	11,215	(51.56%)	
Transfer to Reserves	(101,000)	(583)	0	Within Threshold	(100.00%)	
Amount Attributable to Financing Activities	(141,608)	(22,334)	(10,536)	11,215		
Sub Total	(6,150,642)	(4,341,441)	(2,192,564)	2,114,894		
FUNDING FROM						
Transfer from Reserves	154,100	0	0	Within Threshold	0%	
Loans Raised	250,000	0	0	Within Threshold	0%	
Estimated Opening Surplus at 1 July	2,413,807	2,413,807	2,375,392	(38,415)	Within Threshold	
Amount Raised from General Rates	3,332,735	3,332,735	3,333,214	Within Threshold	Within Threshold	
Closing Funds	0	0	0	Within Threshold	0%	
Sub Total	6,150,642	5,746,542	5,708,606	(38,415)		
NET SURPLUS/(DEFICIT)	(0)	1,405,101	3,516,042	2,076,479		

SHIRE OF BOYUP BROOK
SUMMARY OF CURRENT ASSETS AND LIABILITIES
FOR THE PERIOD ENDING 31 JANUARY 2023

	ACTUAL 31 JANUARY 2023
<u>Current Assets</u>	
Cash at bank and on Hand	3,681,623
Restricted Cash	249,029
Restricted Cash Reserves	2,629,994
Trade Receivables	1,244,825
Stock on Hand/Inventory/Biological Assets	449,490
Other Assets	30,712
Total Current Assets	8,285,674
 <u>Current Liabilities</u>	
Trade Creditors	(\$469,492)
Bonds and Deposits	(\$319,420)
Accrued Wages	(\$92,931)
Accrued Interest on Loans	(\$1,967)
Accrued Expense	(\$62,318)
ATO Liabilities	\$0
Contract Liability	(\$513,001)
Loan Liability	(\$10,847)
Finance Lease Liability	(\$19,224)
Provisions	(\$385,815)
Total Current Liabilities	(\$1,875,014)
 Sub-Total	 6,410,660
Adjustments	
LESS Cash Backed Reserves	(\$2,629,994)
LESS Restricted Cash	\$0
LESS Inventory	(\$449,490)
LESS Prepaid Expenses	(\$2,419)
ADD: Employee Leave Provisions	\$0
ADD: Accrued Interest	\$1,967
ADD: Accrued Salaries & Wages	\$92,931
ADD: Accrued Expenses	\$62,318
ADD: Current Loan Liability	\$10,847
ADD: Current Finance Lease Liability	\$19,224
Rounding	-2
Net Current Position	3,516,042

**SHIRE OF BOYUP BROOK
MONTHLY FINANCIAL REPORT
FOR THE PERIOD ENDING 31 JANUARY 2023**

EXPLANATION OF MATERIAL VARIANCES

The Local Government (Financial Management) Regulation 34 (2) (b) requires 'an explanation of each of the material variances' identified within the Rate Setting Statement (from the adopted Budget) for each months financial statements. The information contained within the 'Statement of Financial Acitivity' on page 3 of these financial statements contains all of the information provided within the 'Rate Setting Statement' and therefore any material variances on this page will be reported below.

The Local Government (Financial Management) Regulation 34 (5) states that "Each financial year, a local government is to adopt a percentage or value, calculated in accordance with AAS5, to be used in statements of financial activity for reporting material variances.

For the Shire of Boyup Brook, material variances are to be reported when exceeding 10%, and a minimum of \$10,000.

REPORTING AREA	YTD BUDGET	YTD ACTUAL	VARIANCE \$	VARIANCE %	TIMING / PERMANENT	EXPLANATION
<u>Operating Revenue</u>						
Operating Grants & Contributions	543,607	571,337	27,731	Within Threshold	TIMING/ PERMANENT	ESL & Mitigation grants higher for reporting period. Library Digital inclusion grant not anticipated. MRWA Road Maintenance grant higher than anticipated.
Fees & Charges	1,107,389	755,204	(352,185)	-32%	TIMING/ PERMANENT	Fees for Medical Centre for November, December & January not yet recorded in accounts. Fees for Early Learning Centre for August, September, October, November, December & January not yet recorded in accounts. Refuse collection fees, and planning fees higher. Caravan park fees lower for reporting period.
Other Revenue	385,810	664,265	278,456	72%	TIMING	Diesel fuel rebate lower for reporting period. Rylington park revenue higher from canola seed sales and sheep sales.

**SHIRE OF BOYUP BROOK
MONTHLY FINANCIAL REPORT
FOR THE PERIOD ENDING 31 JANUARY 2023**

EXPLANATION OF MATERIAL VARIANCES

The Local Government (Financial Management) Regulation 34 (2) (b) requires 'an explanation of each of the material variances' identified within the Rate Setting Statement (from the adopted Budget) for each months financial statements. The information contained within the 'Statement of Financial Acitivity' on page 3 of these financial statements contains all of the information provided within the 'Rate Setting Statement' and therefore any material variances on this page will be reported below.

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For the Shire of Boyup Brook, material variances are to be reported when exceeding 10%, and a minimum of \$10,000.

REPORTING AREA	YTD BUDGET	YTD ACTUAL	VARIANCE \$	VARIANCE %	TIMING / PERMANENT	EXPLANATION
<u>Operating Expenses</u>						
Employee Costs	(1,877,313)	(2,074,417)	(197,103)	10%	PERMANENT/ TIMING	Global wages higher by \$31k. Wages costed to operations higher for reporting period. Increase in Medical Salaries.
Materials & Contracts	(1,559,294)	(969,334)	589,961	-38%	TIMING	Councillor ICT allowance, Medical Centre computer expenses, Medical Centre supplies expenses, Community housing maintenance expenses, Town planning contract expenses, Swimming Pool contract expenses, Drains & Culverts contract expenses, Verge Pruning contract expenses, Roman data collection expenses, Road consulting engineer expenses, Caravan Park contract expenses, Building Control expenses, Fuel & Oil expenses, Admin IT contract expenses and Rylington Park contract expenses lower than anticipated for reporting period. Bridge repair expenses, and Plant Parts & Repairs expenses higher for reporting period.
Utility Charges	(122,887)	(89,564)	33,323	-27%	TIMING	Standpipe water expenses lower than anticipated for reporting period.
Depreciation on Assets	(2,026,416)	0	2,026,416	-100%	TIMING	Depreciation unable to be raised until prior year audit is finalised.
Insurance Expenses	(273,405)	(260,719)	12,686	Within Threshold	TIMING	Medcial centre insurance premium expenses lower than anticipated.
Other Expenses	(284,802)	(169,485)	115,317	-40%	TIMING	Warren-Blackwood alliance expenses, Bushfire Risk Planning expenses and plant cost recovery allocations lower for reporting period. Administration allocations higher for reporting period.

**SHIRE OF BOYUP BROOK
MONTHLY FINANCIAL REPORT
FOR THE PERIOD ENDING 31 JANUARY 2023**

EXPLANATION OF MATERIAL VARIANCES

The Local Government (Financial Management) Regulation 34 (2) (b) requires 'an explanation of each of the material variances' identified within the Rate Setting Statement (from the adopted Budget) for each months financial statements. The information contained within the 'Statement of Financial Acitivity' on page 3 of these financial statements contains all of the information provided within the 'Rate Setting Statement' and therefore any material variances on this page will be reported below.

The Local Government (Financial Management) Regulation 34 (5) states that "Each financial year, a local government is to adopt a percentage or value, calculated in accordance with AAS5, to be used in statements of financial activity for reporting material variances.

For the Shire of Boyup Brook, material variances are to be reported when exceeding 10%, and a minimum of \$10,000.

REPORTING AREA	YTD BUDGET	YTD ACTUAL	VARIANCE \$	VARIANCE %	TIMING / PERMANENT	EXPLANATION
Investing Activities						
Purchase Buildings	(581,500)	(94,013)	487,487	-84%	TIMING	Medical Centre Building project expenses, Town Hall refurbishment expenses, Mayanup Hall refurbishment expenses, Dinninup Hall refurbishment expenses, Wilga Hall refurbishment expenses and Kulikup hall refurbishment expenses lower for reporting period. Tonebridge Hall refurbishment expenses higher due to disposal of asbestos. Flaxmill abluion block expenses lower for reporting period. Rylington Park House capital expenses lower for reporting period.
Purchase Plant and Equipment	(425,760)	(218,198)	207,562	-49%	TIMING	ESL plant, administration vehicle and heavy plant purchases expenses lower than estimated for reporting period. Rylington plant purchased early.
Infrastructure Assets - Roads	(2,369,493)	(1,383,713)	985,780	-42%	TIMING	Winter grading expenses, Regional Road Group expenses and Roads to Recovery project expenses lower than anticipated for reporting period. Bridge Construction expenses higher than anticipated - offset by grant held as liability.
Infrastructure Assets - Drainage	(164,703)	(6,488)	158,215	-96%	TIMING	Town hall drainage expenses and Spencer Road culvert expenses lower for reporting period.
Infrastructure Assets - Other	(268,907)	(68,310)	200,597	-75%	TIMING	Town hall car park expenses, Flaxmill water supply expenses, Rylington park fencing and water tank expenses lower for reporting period.
Non-Operating Grants, Subsidies for the Development of Assets	1,498,505	1,124,741	(373,765)	-25%	TIMING	LRCI Phase 2 grant and LRCI Phase 3 50% allocation received earlier than anticipated. Special Bridge Funding not anticipated. Regional Road Grant funding and Roads to Recovery grant funding lower than anticipated for reporting period. Regional airport grant received earlier than anticipated.

SHIRE OF BOYUP BROOK
STATEMENT OF FINANCIAL POSITION
FOR THE PERIOD ENDING 31 JANUARY 2023

	Note	2021-22 ACTUAL \$	2022-23 ACTUAL \$	Variance \$
Current assets				
Unrestricted Cash & Cash Equivalents		3,636,652	3,648,184	11,532
Restricted Cash - Reserves		2,629,994	2,629,994	0
Restricted Cash - Other		5,424	282,468	277,044
Trade and other receivables		493,582	1,244,825	751,244
Inventories		449,490	449,490	0
Other assets		0	30,712	30,712
Total current assets		7,215,141	8,285,674	1,070,532
Non-current assets				
Trade and other receivables		27,589	27,589	0
LG House Unit Trust		77,804	77,804	0
Land		4,697,000	4,697,000	0
Buildings		18,203,800	18,297,813	94,013
Furniture & Equipment		24,427	33,451	9,024
Plant & Equipment		2,726,244	2,904,442	178,198
Right of use Assets - Plant		58,989	58,989	0
Infrastructure Assets - Roads		75,347,580	76,492,953	1,145,374
Infrastructure Assets - Bridges		16,982,769	17,152,769	170,000
Infrastructure Assets - Footpaths		1,129,478	1,129,478	0
Infrastructure Assets - Recreation		1,692,495	1,702,276	9,781
Infrastructure Assets - Drainage		10,081,368	10,087,856	6,488
Infrastructure Assets - Parks/Ovals		367,439	373,812	6,374
Infrastructure Assets - Other		3,292,260	3,421,695	129,435
Total non-current assets		134,709,240	136,457,926	1,748,686
Total assets		141,924,381	144,743,600	2,819,219
Current liabilities				
Trade and other payables		805,931	626,708	179,223
Bonds and deposits		40,314	319,420	-279,106
Contract Liabilities		683,001	513,001	170,000
Interest-bearing loans and borrowings		21,383	10,847	10,536
Finance Lease Liability - Current		19,224	19,224	0
Provisions		385,815	385,815	0
Total current liabilities		1,955,668	1,875,014	80,654
Non-current liabilities				
Interest-bearing loans and borrowings		72,119	72,119	0
Finance Lease Liability - Non Current		35,042	35,042	0
Provisions		59,785	59,785	0
Total non-current liabilities		166,946	166,946	0
Total liabilities		2,122,614	2,041,960	80,654
Net assets		139,801,767	142,701,640	2,899,873
Equity				
Retained surplus		58,665,639	58,665,639	0
Net Result		0	2,899,873	2,899,873
Reserve - asset revaluation		78,506,135	78,506,135	0
Reserve - Cash backed		2,629,994	2,629,994	0
Total equity		139,801,767	142,701,640	2,899,873

This statement is to be read in conjunction with the accompanying notes

SHIRE OF BOYUP BROOK
STATEMENT OF CASH FLOWS
FOR THE PERIOD ENDING 31 JANUARY 2023

	Note	2021-2022 ACTUAL \$	2022-23 BUDGET \$	2022-23 ACTUAL \$
Cash Flows from operating activities				
Payments				
Employee Costs		(3,457,183)	(3,507,152)	(2,006,702)
Materials & Contracts		(1,287,397)	(3,156,906)	(1,362,931)
Utilities (gas, electricity, water, etc)		(186,430)	(216,229)	(89,564)
Insurance		(243,284)	(6,550)	(260,719)
Interest Expense		(6,399)	(284,780)	(2,752)
Goods and Services Tax Paid		(259,128)	0	(57,882)
Other Expenses		(294,880)	(319,394)	(169,485)
		(5,734,701)	(7,491,011)	(3,950,034)
Receipts				
Rates		3,229,246	3,334,797	2,763,908
Operating Grants & Subsidies		2,243,735	337,145	571,337
Fees and Charges		1,721,623	1,812,135	755,204
Interest Earnings		33,451	26,150	15,991
Goods and Services Tax		161,657	0	(73,905)
Other		1,184,410	903,637	940,651
		8,574,121	6,413,864	4,973,187
Net Cash flows from Operating Activities		2,839,420	(1,077,147)	1,023,153
Cash flows from investing activities				
Payments				
Purchase of Land		(219,627)	0	0
Purchase of Buildings		(339,893)	(795,500)	(94,013)
Purchase Plant and Equipment		(433,721)	(755,260)	(218,198)
Purchase Furniture and Equipment		0	(17,680)	(9,024)
Purchase Road Infrastructure Assets		(1,713,555)	(2,897,857)	(1,213,713)
Purchase of Bridges Assets		0	0	(170,000)
Purchase of Footpath Assets		0	(75,075)	0
Purchase Drainage Assets		(11,410)	(217,203)	(6,488)
Purchase Parks & Ovals Assets		(6,374)	(100,000)	0
Purchase Recreation Assets		(267,085)	(150,000)	(9,781)
Purchase Infrastructure Other Assets		(147,928)	(344,179)	(67,469)
Receipts				
Proceeds from Sale of Assets		30,273	175,000	40,000
Non-Operating grants used for Development of Assets		1,245,101	2,895,601	1,024,646
		(1,864,219)	(2,282,153)	(724,040)
Cash flows from financing activities				
Repayment of Debentures		(20,178)	(21,384)	(10,536)
Principal elements of lease payments			(19,224)	0
Advances to Community Groups		0	0	0
Revenue from Self Supporting Loans		0	0	0
Proceeds from New Debentures		0	250,000	0
Net cash flows from financing activities		(20,178)	209,392	(10,536)
Net increase/(decrease) in cash held		955,023	(3,149,908)	288,576
Cash at the Beginning of Reporting Period		5,369,634	6,272,092	6,272,070
Cash at the End of Reporting Period		6,324,657	3,122,184	6,560,646

**SHIRE OF BOYUP BROOK
STATEMENT OF CASH FLOWS
FOR THE PERIOD ENDING 31 JANUARY 2023**

Notes

	2021-2022 ACTUAL \$	2022-23 BUDGET \$	2022-23 ACTUAL \$
RECONCILIATION OF CASH			
Cash at Bank	3,655,276	57,821	3,375,146
Restricted Cash	2,663,481	2,532,180	3,169,600
Cash on Hand	5,900	5,950	15,900
TOTAL CASH	6,324,657	2,595,951	6,560,646
RECONCILIATION OF NET CASH USED IN OPERATING ACTIVITIES TO OPERATING RESULT			
Net Result (As per Comprehensive Income Statement)	(290,917)	(1,130,089)	2,899,873
Add back Depreciation	3,718,122	3,586,939	0
(Gain)/Loss on Disposal of Assets	33,589	-	0
LG House Unit trust	(3,997)	-	0
Self Supporting Loan Principal Reimbursements	0	-	0
Contributions for the Development of Assets	(1,216,168)	(2,895,601)	(1,124,741)
Changes in Assets and Liabilities			
(Increase)/Decrease in Inventory	0	0	0
(Increase)/Decrease in Receivables	(26,895)	(30)	(679,142)
Increase/(Decrease) in Accounts Payable	544,534	-	(72,838)
Increase/(Decrease) in Contract Liability	0	(683,001)	0
Increase/(Decrease) in Prepayments	0	0	0
Increase/(Decrease) in Employee Provisions	81,152	44,635	0
Increase/(Decrease) in Accrued Expenses	0	0	0
Rounding	-	0	0
NET CASH FROM/(USED) IN OPERATING ACTIVITIES	2,839,420	(1,077,147)	1,023,153

**SHIRE OF BOYUP BROOK
MONTHLY FINANCIAL REPORT
FOR THE PERIOD ENDING 31 JANUARY 2023**

CAPITAL EXPENDITURE PROGRAM

COA	Description	Resp. Officer	Asset Class	Asset Invest. Type	2022/2023 Total Budget	2022/2023 YTD Actuals	% of Annual Budget
Law Order & Public Safety							
051600	ESL Plant & Equipment	MWS	P&E	New	23,160	1,478	6.4%
					23,160	1,478	
Health							
074600	Medical Centre - Ultra Sound Equipment	DCEO	F&E	New	10,000	0	0.0%
074400	Medical Centre Building - Replace floor tiles, structural work & painting	MWS	L&B	Renewal	20,000	0	0.0%
					30,000	0	
Education & Welfare							
081400	Community Resource Centre - Painting, ballustrades, decking & restumping	MWS	L&B	Renewal	20,000	0	0.0%
081401	Early Learning Centre - Painting & kitchen cabinetry	MWS	L&B	Renewal	8,000	0	0.0%
					28,000	0	
Recreation & Culture							
LRC018	Mayanup Hall - Refurbishment	MWS	L&B	Renewal	20,000	0	0.0%
LRC019	Tonebridge Hall Refurbishment	MWS	L&B	Renewal	40,000	50,483	126.2%
LRC022	Dinninup Hall Refurbishment & Drainage Works	MWS	L&B	Renewal	45,000	0	0.0%
LRC021	Wilga Hall Refurbishment	MWS	L&B	Renewal	20,000	0	0.0%
LRC023	Kulikup Hall Refurbishment	MWS	L&B	Renewal	20,000	0	0.0%
LRC017	Boyup Brook Hall Refurbishment	MWS	L&B	Upgrade	300,000	1,053	0.4%
LRC006	Swimming Pool - Upgrade Entrance	MWS	L&B	Renewal	30,000	18,813	62.7%
LRC010	Swimming Pool - Shadesale, Rail & Reticulation	MWS	REC	Renewal	0	9,771	0.0%
113907	Parks & Gardens - Plant & equipment	MWS	P&E	Renewal	7,500	0	0.0%
LRC024	Boyup Brook Hall Drainage	MWS	DRAIN	Renewal	150,000	6,488	4.3%
LRC026	Sandakan Playground Upgrade	MWS	PARK	Upgrade	100,000	0	0.0%
113906	Oval Water supply upgrade with trench & pipe from old Reservoir	MWS	REC	Upgrade	150,000	10	0.0%
LRC025	Boyup Brook Hall Car Park & Landscaping	MWS	OTHER	Upgrade	215,062	749	0.3%
					1,097,562	87,367	
Transport							
123603	Fleet Vehicle Replacements	MWS	P&E	Renewal	45,000	41,420	92.0%
123609	Light Plant Replacements	MWS	P&E	Renewal	29,500	0	0.0%
123610	Heavy Plant Replacements	MWS	P&E	Renewal	513,100	165,300	32.2%
RTR007	Roads to Recovery - Kulikup Road South	MWS	ROAD	Renewal	432,888	319,274	73.8%
RTR008	Roads to Recovery - Jayes South	MWS	ROAD	Renewal	202,115	0	0.0%
RTR038	Roads to Recovery - Lodge South	MWS	ROAD	Renewal	77,333	0	0.0%
RTR309	Roads to Recovery - Sinnott South	MWS	ROAD	Renewal	56,718	0	0.0%
RRG148	Regional Road Group - Boyup Brook Cranbrook Road	MWS	ROAD	Upgrade	443,989	175,701	39.6%
RGA148	Regional Road Group - Boyup Brook Cranbrook Road	MWS	ROAD	Upgrade	142,200	177,971	125.2%
RRG210	Regional Road Group - Boyup Brook Arthur River Road	MWS	ROAD	Upgrade	552,000	120,023	21.7%
RRG004	Regional Road Group - Winnejup Road	MWS	ROAD	Upgrade	321,820	5,950	1.8%
RGA004	Regional Road Group - Winnejup Road	MWS	ROAD	Upgrade	228,099	3,523	1.5%
MU501	Gravel Pits Rehabilitation	MWS	ROAD	Renewal	20,000	0	0.0%
121401	Gravel Sheetting Road Projects	MWS	ROAD	Renewal	40,025	0	0.0%
121410	Winter Road Grading	MWS	ROAD	Renewal	380,670	411,270	108.0%
121450	Bridge Upgrade - Boree Gully Rd	MWS	BRIDGE	Upgrade	0	170,000	0.0%
FP111	Inglis Street Footpath	MWS	FOOT	Upgrade	75,075	0	0.0%
126400	Aerodrome Infrastructure	MWS	OTHER	Upgrade	0	(841)	0.0%
DC163	Spencer Road Culvert Replacement	MWS	DRAIN	Renewal	67,203	0	0.0%
					3,627,735	1,589,592	
Economic Services							
132405	Flaxmill Caravan Park Ablution Block	MWS	L&B	New	250,000	16,273	6.5%
LRC004	Flaxmill - Various Projects	MWS	L&B	Renewal	0	360	0.0%
132403	Caravan Park Lighting Upgrade	MWS	OTHER	Upgrade	0	1,500	0.0%
132412		MWS	OTHER	Upgrade	0	7,983	0.0%
132901	Flaxmill Caravan Park Fence & Water Supply Upgrade	MWS	OTHER	Upgrade	89,117	58,078	65.2%
					339,117	84,194	

**SHIRE OF BOYUP BROOK
MONTHLY FINANCIAL REPORT
FOR THE PERIOD ENDING 31 JANUARY 2023**

CAPITAL EXPENDITURE PROGRAM

COA	Description	Resp. Officer	Asset Class	Asset Invest. Type	2022/2023 Total Budget	2022/2023 YTD Actuals	% of Annual Budget
Other Property & Services							
146500	Administration Pool Vehicle replacement	MWS	P&E	Renewal	52,000	0	0.0%
149501	Rylington Park - Chemical Shed	MWS	L&B	Upgrade	0	7,031	0.0%
149504	Rylington Park - King Single Ensemble Beds	DCEO	F&E	Renewal	7,680	9,024	117.5%
149503	Rylington Park - Water Filtration & Replace House roof	MWS	L&B	Renewal	22,500	0	0.0%
149502	Rylington Park - Second hand truck & portable yards	CEO	P&E	Renewal	85,000	10,000	11.8%
149500	Rylington Park - Fence replacement, water tank for house	CEO	OTHER	Renewal	40,000	0	0.0%
					207,180	26,055	
	Total Capital Expenditure				5,352,754	1,788,686	

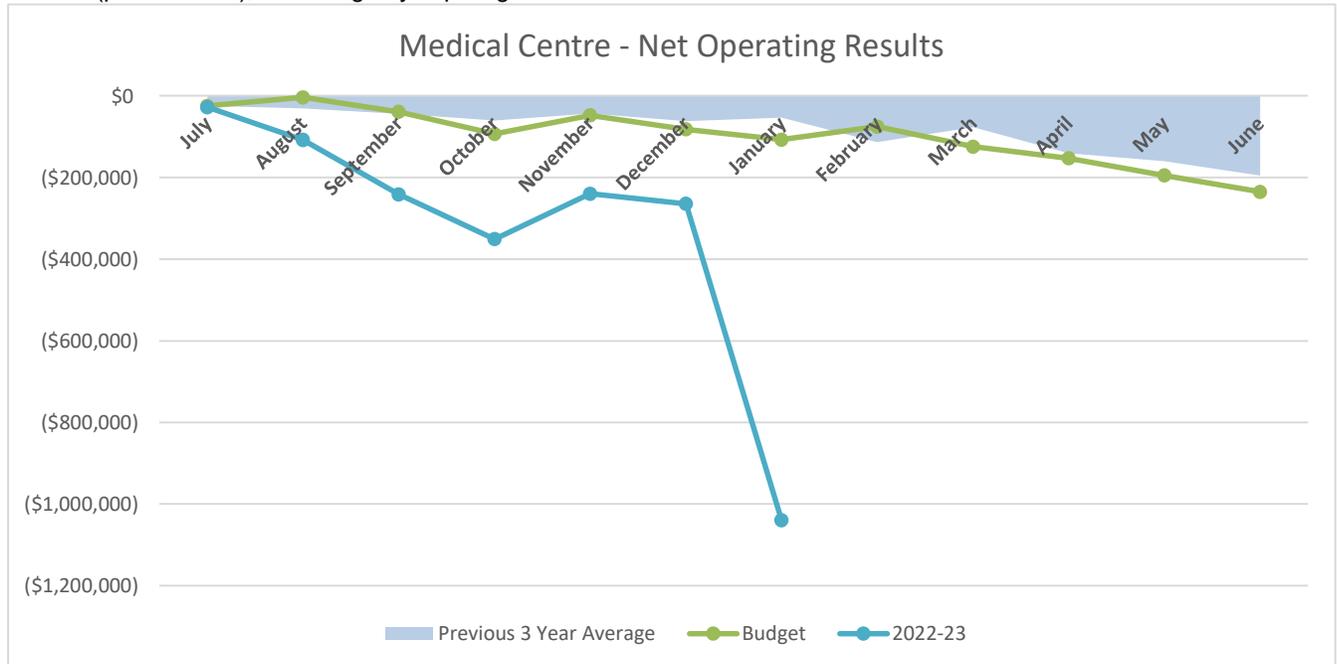
SUMMARIES:			
Land & Buildings	795,500	94,013	11.8%
Plant & Equipment	755,260	218,198	28.9%
Furniture & Equipment	17,680	9,024	51.0%
Road Infrastructure	2,897,857	1,213,713	41.9%
Footpath Infrastructure	75,075	0	0.0%
Bridge Infrastructure	0	170,000	0.0%
Drainage Infrastructure	217,203	6,488	3.0%
Parks & Reserves Infrastructure	100,000	0	0.0%
Recreation Infrastructure	150,000	9,781	6.5%
Other Infrastructure	344,179	67,469	19.6%
	5,352,754	1,788,686	33.4%
At No Cost	0	0	0.0%
Asset Renewal	2,452,232	1,042,204	42.5%
New Asset	283,160	17,751	6.3%
Upgrading Asset	2,617,362	728,731	27.8%
	5,352,754	1,788,686	33.4%
Chief Executive Officer	125,000	10,000	8.0%
Deputy CEO	17,680	9,024	51.0%
Manager Works & Services	5,210,074	1,769,662	34.0%
Building Maintenance Coordinator	0	0	0.0%
	5,352,754	1,788,686	33.4%

**SHIRE OF BOYUP BROOK
MONTHLY FINANCIAL REPORT
FOR THE PERIOD ENDING 31 JANUARY 2023**

MAJOR BUSINESS UNITS

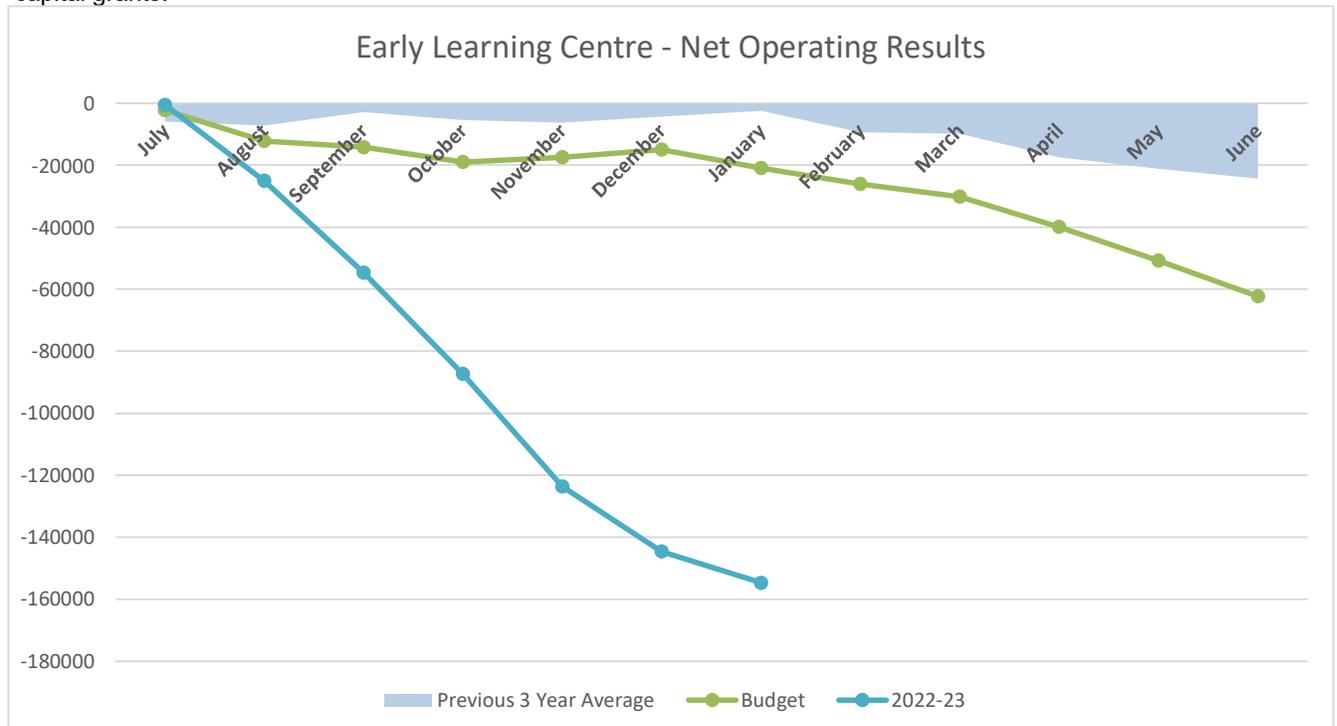
Medical Centre

The Shire of Boyup Brook owns and operates a medical centre that employs 2 doctors, a practice manager, nurses and reception staff, to provide medical services to the community. The following graph shows the operations of the Medical Centre (profit or loss), excluding any capital grants.



Early Learning Centre

The Shire of Boyup Brook owns and operates an early learning centre in Boyup Brook that provides child care services to the community. The following graph shows the operations of the Early Learning Centre (profit or loss), excluding capital grants.

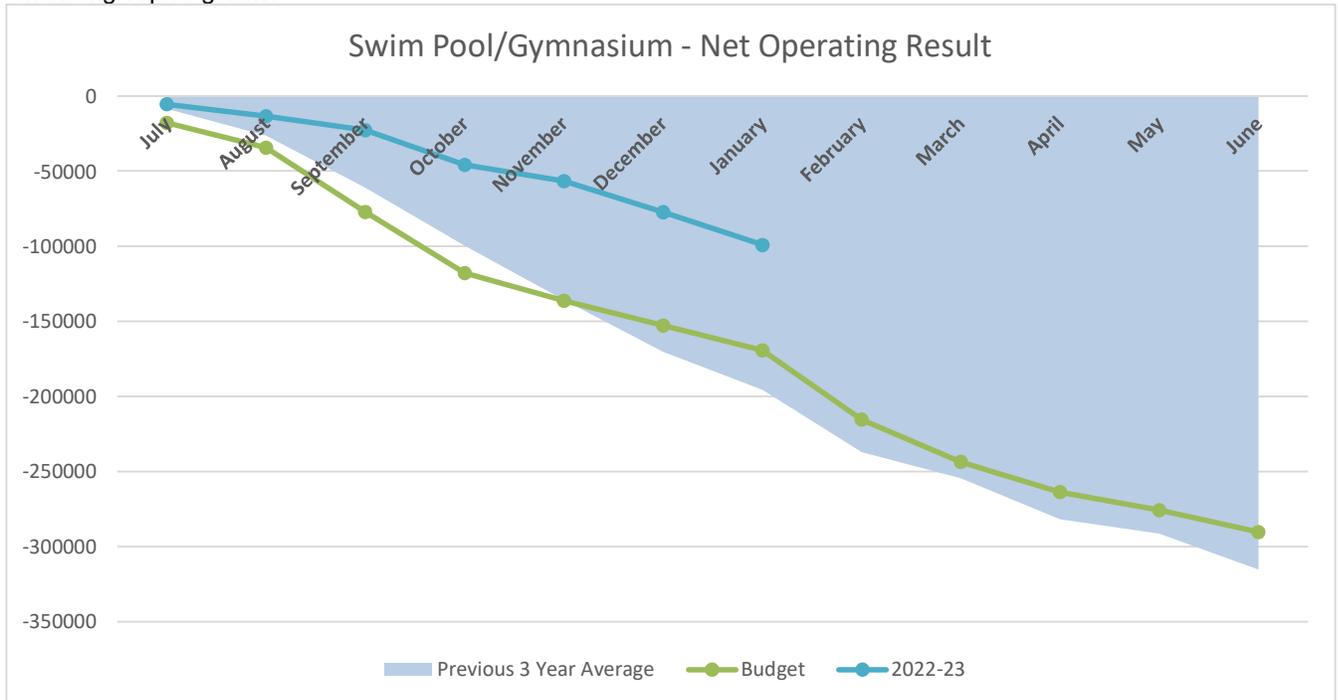


**SHIRE OF BOYUP BROOK
MONTHLY FINANCIAL REPORT
FOR THE PERIOD ENDING 31 JANUARY 2023**

MAJOR BUSINESS UNITS

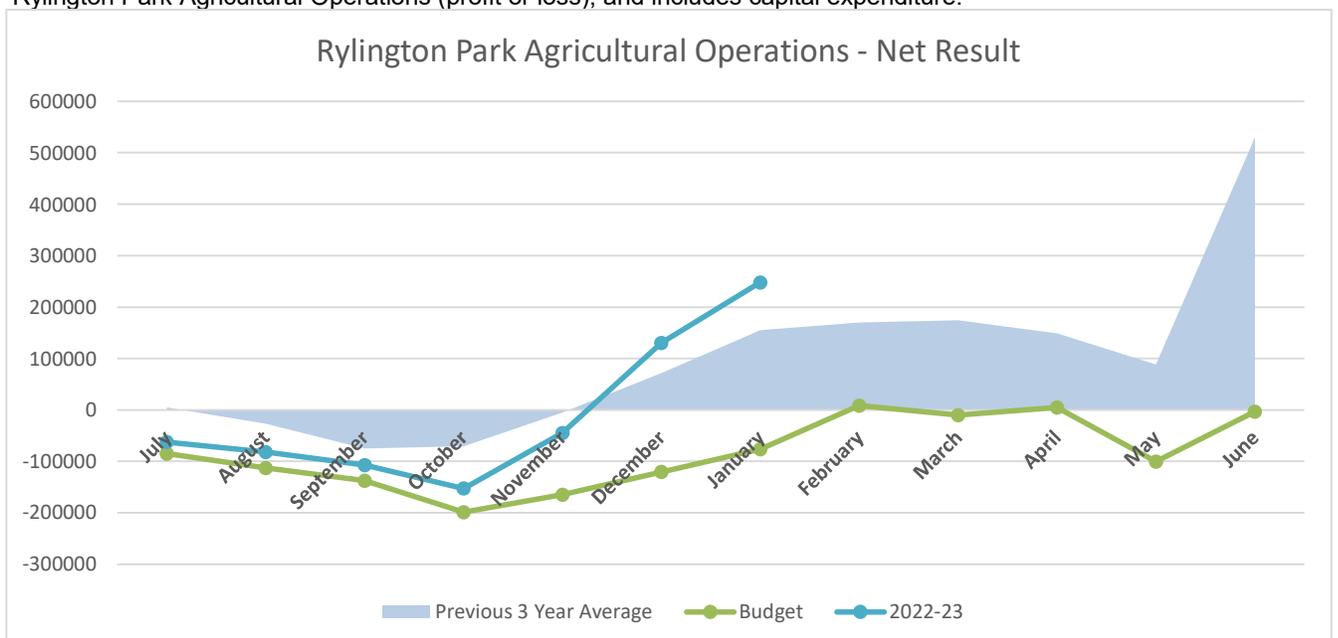
Swimming Pool/Gymnasium

The Shire of Boyup Brook owns and operating a swimming pool and gymnasium complex that provides leisure services to the community. The following graph shows the operations of the Swimming Pool/Gymnasium (profit or loss), excluding capital grants.



Rylington Park Agricultural Operations

The Shire of Boyup Brook assumed ownership and operation of Rylington Park farm on 7 May 2020 as a commercial farming activity that provides educational farming opportunities. The following graph shows the total operations of Rylington Park Agricultural Operations (profit or loss), and includes capital expenditure.



**SHIRE OF BOYUP BROOK
MONTHLY FINANCIAL REPORT
FOR THE PERIOD ENDING 31 JANUARY 2023**

RESERVES - CASH BACKED	2023 Actual Opening Balance	2023 Actual Transfer to	2023 Actual Transfer (from)	2023 Actual Closing Balance	2023 Budget Opening Balance	2023 Budget Transfer to	2023 Budget Transfer (from)	2023 Budget Closing Balance
Leave Reserve	33,486	0	0	33,486	33,486	13	0	33,499
Plant Reserve	225,369	0	0	225,369	225,369	100,086	0	325,455
Building Reserve	740,326	0	0	740,326	740,326	281	0	740,607
Community Housing Reserve	214,857	0	0	214,857	214,857	82	0	214,939
Emergency Reserve	12,499	0	0	12,499	12,498	5	0	12,503
Insurance Claim Reserve	15,231	0	0	15,231	15,231	6	0	15,237
Other Recreation Reserve	50,637	0	0	50,637	50,637	19	0	50,656
Commercial Reserve	452,307	0	0	452,307	452,307	172	0	452,479
Bridges Reserve	156	0	0	156	156	0	0	156
Aged Accommodation Reserve	31,658	0	0	31,658	31,658	12	0	31,670
Road Contributions Reserve	28,655	0	0	28,655	28,655	11	0	28,666
IT/Office Equipment Reserve	39,980	0	0	39,980	39,980	15	0	39,995
Civic Receptions Reserve	16,803	0	0	16,803	16,803	6	0	16,809
Unspent Grants Reserve	79	0	0	79	79	0	0	79
Unspent Community Grants Reserve	122	0	0	122	122	0	0	122
Rylington Park Working Capital Reserve	354,347	0	0	354,347	354,347	135	(154,100)	200,382
Rylington Park Community Projects Reserve	413,482	0	0	413,482	413,482	157	0	413,639
	2,629,994	0	0	2,629,994	2,629,993	101,000	(154,100)	2,576,893

**SHIRE OF BOYUP BROOK
MONTHLY FINANCIAL REPORT
FOR THE PERIOD ENDING 31 JANUARY 2023**

LOAN REPAYMENTS	Loan Number	2023 Actual Principal 1 July 2022	2023 New New Loans	2023 New Principal Repayments	2023 Actual Interest Repayments	2023 Actual Principal Outstanding	2023 Budget Principal 1 July 2022	2023 Budget New Loans	2023 Budget Principal Repayments	2023 Budget Interest Repayments	2023 Budget Principal Outstanding
Housing											
Staff House	115	33,165	0	(3,737)	(1,777)	29,428	33,165	0	(7,586)	(1,841)	25,579
Recreation and culture											
Swimming Pool	114	60,338	0	(6,799)	(975)	53,539	60,338	0	(13,798)	(3,354)	46,540
Economic services											
Caravan Park Ablutions	119	0	0	0	0	0	0	250,000	0	0	250,000
		<u>93,503</u>	<u>0</u>	<u>(10,536)</u>	<u>(2,752)</u>	<u>82,967</u>	<u>93,503</u>	<u>250,000</u>	<u>(21,384)</u>	<u>(5,195)</u>	<u>322,119</u>

Shire of Boyup Brook
MONTHLY FINANCIAL REPORT

G/L JOB		YTD COMPARATIVES		ADOPTED BUDGET	
		31 JANUARY 2023		2022-2023	
Details By Function Under The Following Program Titles And Type Of Activities Within The Programme		Budget	Actual	Income	Expenditure
Proceeds Sale of Assets					
123001	Proceeds Sale of Assets	(\$75,000)	(\$40,000)	(\$175,000)	\$0
PROCEEDS FROM SALE OF ASSETS		(\$75,000)	(\$40,000)	(\$175,000)	\$0
Written Down Value					
	Written Down Value - Works Plant	\$75,000	\$0	\$0	\$175,000
Sub Total - WDV ON DISPOSAL OF ASSET		\$75,000	\$0	\$0	\$175,000
Total - GAIN/LOSS ON DISPOSAL OF ASSET		\$0	(\$40,000)	(\$175,000)	\$175,000
Total - OPERATING STATEMENT		\$0	(\$40,000)	(\$175,000)	\$175,000

Shire of Boyup Brook
MONTHLY FINANCIAL REPORT

G/L JOB		YTD COMPARATIVES		ADOPTED BUDGET	
		31 JANUARY 2023		2022-2023	
Details By Function Under The Following Program Titles And Type Of Activities Within The Programme		Budget	Actual	Income	Expenditure
RATES					
OPERATING EXPENDITURE					
031103	Rates Administration Activity Costs	\$66,812	\$59,460	\$0	\$114,581
031101	Collection Costs	\$2,916	\$8,636	\$0	\$5,000
031100	Valuation Charges	\$3,065	\$490	\$0	\$17,700
031102	Search Costs	\$48	\$27	\$0	\$300
Sub Total - GENERAL RATES OP EXP		\$72,841	\$68,613	\$0	\$137,581
OPERATING INCOME					
031001	Rates - GRV	(\$510,108)	(\$510,108)	(\$510,108)	\$0
031002	Rates - UV	(\$2,367,415)	(\$2,367,415)	(\$2,367,415)	\$0
031003	Rates - GRV - Minimum	(\$58,406)	(\$58,406)	(\$58,406)	\$0
031004	Rates - UV - Minimum	(\$396,806)	(\$396,806)	(\$396,806)	\$0
031006	Rates - Ex-Gratia Rates	(\$1,312)	(\$1,390)	(\$1,312)	\$0
031013	Rates Administration Fee	\$0	(\$7,056)	\$0	\$0
031005	Rates - Instalment Interest	(\$3,000)	(\$3,821)	(\$3,000)	\$0
031007	Rates - Non Payment Penalty - LG	(\$12,730)	(\$9,331)	(\$19,000)	\$0
01023	Pensioner Deferred Rate Interest	\$0	\$0	\$0	\$0
031008	Rates - Rate Enquiries	(\$4,500)	(\$5,216)	(\$10,000)	\$0
031009	Rates - ESL Administration Fee	(\$4,000)	\$0	(\$4,000)	\$0
031010	Rates - Reimbursements	\$0	(\$6,140)	(\$5,000)	\$0
031011	Rates - Penalty Interest - DFES	(\$600)	(\$412)	(\$600)	\$0
031012	Rates - Rates Interims	\$0	(\$479)	(\$1,000)	\$0
031104	Rates Written Off	\$0	\$0	\$250	\$0
Sub Total - GENERAL RATES OP INC		(\$3,358,877)	(\$3,366,581)	(\$3,376,397)	\$0
Total - GENERAL RATES		(\$3,286,036)	(\$3,297,968)	(\$3,376,397)	\$137,581
OTHER GENERAL PURPOSE FUNDING					
OPERATING EXPENDITURE					
032100	General Purpose Funding - Administration Allocated	\$4,430	\$3,943	\$0	\$7,597
Sub Total - OTHER GENERAL PURPOSE FUNDING OP/EXP		\$4,430	\$3,943	\$0	\$7,597
OPERATING INCOME					
032001	General Purpose Grants Federal Commission (OP)	(\$180,391)	(\$180,391)	(\$360,781)	\$0
032002	General Purpose Grants Federal - Roads (OP)	(\$78,914)	(\$78,914)	(\$157,828)	\$0
032003	General Purpose Funding - Interest On Investments - Municipal Ac	(\$1,625)	(\$2,199)	(\$2,500)	\$0
032004	Interest on Investments - Reserves Account	(\$570)	\$0	(\$1,000)	\$0
032006	General Purpose Funding - Interest on Investments - Medical Fund	\$0	(\$158)	\$0	\$0
032007	General Purpose Funding - Interest on Investments - Business Onl	\$0	\$0	\$0	\$0
032008	General Purpose Funding - Interest on Investments - Short Term C	(\$33)	(\$71)	(\$50)	\$0
Sub Total - OTHER GENERAL PURPOSE FUNDING OP/INC		(\$261,532)	(\$261,732)	(\$522,159)	\$0
Total - OTHER GENERAL PURPOSE FUNDING		(\$257,102)	(\$257,790)	(\$522,159)	\$7,597
Total - GENERAL PURPOSE FUNDING		(\$3,543,138)	(\$3,555,758)	(\$3,898,556)	\$145,178

Shire of Boyup Brook
MONTHLY FINANCIAL REPORT

G/L JOB		YTD COMPARATIVES		ADOPTED BUDGET	
		31 JANUARY 2023		2022-2023	
Details By Function Under The Following Program Titles And Type Of Activities Within The Programme		Budget	Actual	Income	Expenditure
MEMBERS OF COUNCIL					
OPERATING EXPENDITURE					
041100	Members - Sitting Fees.	\$47,698	\$40,900	\$0	\$81,800
041119	Website Expenses	\$2,041	\$0	\$0	\$3,500
041101	Members - Training Costs	\$7,452	\$0	\$0	\$10,800
041102	Members - Travelling Costs	\$2,346	\$2,275	\$0	\$3,400
041103	Members - Telecommunications Reimbursements	\$8,942	\$6,480	\$0	\$12,960
041104	Members - Other Expenses	\$4,400	\$508	\$0	\$4,400
041105	Members - Conferences/Seminars Costs	\$12,680	\$4,877	\$0	\$15,850
041106	Members - President's Allowance	\$4,934	\$5,140	\$0	\$10,280
041107	Members - Deputy President's Allowance	\$1,259	\$1,285	\$0	\$2,570
041108	Members - Council Chamber Expenses	\$1,490	\$1,987	\$0	\$1,957
041109	Members - Refreshments & Receptions	\$12,866	\$13,834	\$0	\$22,064
041111	Members - Insurance Costs For Members	\$7,810	\$6,938	\$0	\$7,810
041112	Members - Subscriptions	\$9,575	\$9,153	\$0	\$9,575
041113	Members - Election Expenses	\$0	\$0	\$0	\$0
041114	Members - Donations	\$48,200	\$41,595	\$0	\$48,200
041118	ICT - Councillors	\$12,111	\$0	\$0	\$13,431
041120	Warren Blackwood Alliance Expenses	\$12,500	\$0	\$0	\$12,500
041150	Members - Admin Allocation	\$35,621	\$31,701	\$0	\$61,089
Sub Total - MEMBERS OF COUNCIL OP/EXP		\$231,925	\$166,674	\$0	\$322,186
OPERATING INCOME					
041002	Other Governance - Sundry Reimbursements Income	\$0	\$0	\$0	\$0
Sub Total - MEMBERS OF COUNCIL OP/INC		\$0	(\$2,000)	\$0	\$0
Total - MEMBERS OF COUNCIL		\$231,925	\$164,674	\$0	\$322,186
GOVERNANCE					
OPERATING EXPENDITURE					
042100	Other Governance - Admin Allocated	\$53,432	\$47,552	\$0	\$91,634
Sub Total - GOVERNANCE - GENERAL OP/EXP		\$53,432	\$47,552	\$0	\$91,634
OPERATING INCOME					
Sub Total - GOVERNANCE - GENERAL OP/INC		\$0	\$0	\$0	\$0
Total - GOVERNANCE - GENERAL		\$53,432	\$47,552	\$0	\$91,634
Total - GOVERNANCE		\$285,357	\$212,225	\$0	\$413,820

Shire of Boyup Brook
MONTHLY FINANCIAL REPORT

Details By Function Under The Following Program Titles
And Type Of Activities Within The Programme

G/L	JOB	YTD COMPARATIVES		ADOPTED BUDGET	
		31 JANUARY 2023		2022-2023	
		Budget	Actual	Income	Expenditure
LAW, ORDER AND PUBLIC SAFETY					
FIRE PREVENTION					
OPERATING EXPENDITURE					
051109	ESL - Insurances Fire Appliances and Personnel	\$34,990	\$34,392	\$0	\$34,990
051112	Fire Prevention And Support	\$15,128	\$10,623	\$0	\$15,129
051101	Fire Break Inspection Expenses	\$2,655	\$3,145	\$0	\$3,540
051102	Fire Hazard Reductions Expenses	\$4,347	\$8,033	\$0	\$6,393
051104	Minor Fire Plant & Equipment Purchases non ESL	\$233	\$23	\$0	\$400
051105	Fire Plant & Equipment Maintenance - Non ESL	\$292	\$0	\$0	\$500
051106	ESL - Fire Vehicle Maintenance Costs	\$2,400	\$1,326	\$0	\$15,000
051107	ESL - Brigade Utilities, rates and taxes	\$192	\$0	\$0	\$1,200
051108	ESL - Other Goods & Services relating to Fires	\$0	\$910	\$0	\$7,000
051110	ESL - Fire Plant & Equip over \$1500	\$16,972	\$12,147	\$0	\$16,972
051111	ESL - Minor Fire Plant/Equip Under \$1500	\$5,250	\$32	\$0	\$15,000
051114	ESL - Land & Building Maintenance	\$496	\$1,283	\$0	\$3,097
051115	ESL - Clothing and Accessories	\$7,200	\$13,636	\$0	\$45,000
051116	ESL - Plant and Equipment Maintenance	\$6,507	\$116	\$0	\$17,689
051117	BFRC - Bushfire Risk Planning	\$11,936	\$13,489	\$0	\$23,050
051118	DFES Fire Defence Grant Expenses	\$3,786	\$0	\$0	\$13,520
051120	Bush Fire - Mitigation Activity Funded	\$3,647	\$0	\$0	\$22,796
051150	Admin Allocation - Fire Control	\$35,621	\$31,701	\$0	\$61,089
051190	Depreciation - Fire Control	\$670	\$0	\$0	\$670
Sub Total - FIRE PREVENTION OP/EXP		\$152,321	\$130,856	\$0	\$303,035
OPERATING INCOME					
050600	ESL & DFES Non Operating Grants	(\$31,360)	\$0	(\$31,360)	\$0
051001	Fire Infringements/Fines Income	(\$500)	\$0	(\$500)	\$0
051002	Sale Of Fire Maps Income	\$0	(\$40)	(\$100)	\$0
051003	LGIS Fire Reimbursement Income	\$0	\$0	\$0	\$0
051004	ESL - Funding Operating Grant Income	(\$96,597)	(\$112,483)	(\$170,492)	\$0
Sub Total - FIRE PREVENTION OP/INC		(\$128,457)	(\$112,523)	(\$202,452)	\$0
Total - FIRE PREVENTION		\$23,864	\$18,334	(\$202,452)	\$303,035
ANIMAL CONTROL					
OPERATING EXPENDITURE					
052100	Ranger Services Operation Costs	\$853	\$404	\$0	\$2,000
052005	Trap Hire Refunds	\$50	\$0	\$0	\$50
052101	Ranger Vehicle Operating Expenses	\$2,012	\$0	\$0	\$3,450
052102	Dog License Discs Costs	\$300	\$0	\$0	\$300
052103	Other Control Expenses	\$1,672	\$1,291	\$0	\$2,425
052104	Animal Impounding Costs	\$4,000	\$2,570	\$0	\$5,000
052109	Cat License Tags Expense	\$100	\$0	\$0	\$100
052110	Ranger Services Salary Super and Employee Costs	\$46,053	\$19,849	\$0	\$72,928
052150	Admin Allocation - Animal Control	\$13,385	\$11,908	\$0	\$22,947
052190	Depreciation	\$233	\$0	\$0	\$400
Sub Total - ANIMAL CONTROL OP/EXP		\$68,659	\$36,022	\$0	\$109,600
OPERATING INCOME					
052001	Animal Fines & Penalties Income	\$0	(\$1,260)	\$0	\$0
052002	Animal Impounding Fees Income	(\$300)	(\$2,549)	(\$300)	\$0
052003	Dog Registrations Charges	(\$3,932)	(\$4,204)	(\$6,000)	\$0
052004	Cat Registration Charges	\$0	\$0	\$0	\$0
052006	Animal Control Income - Grant	\$0	\$0	\$0	\$0
Sub Total - ANIMAL CONTROL OP/INC		(\$4,232)	(\$8,013)	(\$6,300)	\$0
Total - ANIMAL CONTROL		\$64,427	\$28,008	(\$6,300)	\$109,600

Shire of Boyup Brook
MONTHLY FINANCIAL REPORT

Details By Function Under The Following Program Titles
And Type Of Activities Within The Programme

G/L	JOB	YTD COMPARATIVES 31 JANUARY 2023		ADOPTED BUDGET 2022-2023	
		Budget	Actual	Income	Expenditure
OTHER LAW ORDER & PUBLIC SAFETY					
OPERATING EXPENDITURE					
053100	Local Emergency Management Committee Expenses	\$300	\$0	\$0	\$300
053150	Administration Allocated - Emergency Mgt	\$13,380	\$11,908	\$0	\$22,947
053190	Depreciation	\$15,945	\$0	\$0	\$27,345
Sub Total - OTHER LAW ORDER & PUBLIC SAFETY OP/EXP		\$29,625	\$11,908	\$0	\$50,592
OPERATING INCOME					
053002	Non-Operating Grants CCTV	\$0	\$0	\$0	\$0
Sub Total - OTHER LAW ORDER & PUBLIC SAFETY OP /INC		\$0	\$0	\$0	\$0
Total - OTHER LAW ORDER PUBLIC SAFETY		\$29,625	\$11,908	\$0	\$50,592
Total - LAW ORDER & PUBLIC SAFETY		\$117,917	\$58,250	(\$208,752)	\$463,227

Shire of Boyup Brook
MONTHLY FINANCIAL REPORT

Details By Function Under The Following Program Titles And Type Of Activities Within The Programme			YTD COMPARATIVES		ADOPTED BUDGET	
			31 JANUARY 2023		2022-2023	
G/L	JOB		Budget	Actual	Income	Expenditure
HEALTH FAMILY STOP CENTRE						
OPERATING EXPENDITURE						
071100	B0101	Family Stop Centre - Operation	\$9,513	\$6,029	\$0	\$13,218
071150		Admin Allocated - Family Stop Centre	\$8,951	\$7,965	\$0	\$15,350
071190		Depreciation - Family Stop Centre	\$2,157	\$0	\$0	\$3,700
Sub Total - HEALTH FAMILY STOP OP/EXP			\$20,621	\$13,994	\$0	\$32,268
OPERATING INCOME						
Sub Total - HEALTH FAMILY STOP OP/INC			\$0	\$0	\$0	\$0
Total - HEALTH FAMILY STOP			\$20,621	\$13,994	\$0	\$32,268
HEALTH ADMINISTRATION & INSPECTION						
OPERATING EXPENDITURE						
072100		Health Administration Services Expenses	\$23,920	\$18,983	\$0	\$43,007
072101		Other Health Administration Expenses	\$353	\$0	\$0	\$500
072102		Provision for Leave Accruals	\$0	\$0	\$0	\$0
072103		Health Administration Superannuation	\$0	\$0	\$0	\$0
072150		Admin Allocation - Other Health	\$8,954	\$7,965	\$0	\$15,350
Sub Total - HEALTH ADMIN AND INSPECTION OP/EXP			\$33,227	\$26,948	\$0	\$58,857
OPERATING INCOME						
072001		Food Stall Permit Charges	(\$200)	(\$40)	(\$200)	\$0
072002		Temporary Camping Site Permit Charges	(\$89)	(\$800)	(\$100)	\$0
072003		Food Business Registration Fee	(\$429)	(\$1,671)	(\$900)	\$0
072004		Annual Inspections	\$0	\$0	\$0	\$0
072005		Lodging House Registration Fees	\$0	\$0	\$0	\$0
Sub Total - HEALTH ADMIN AND INSPECTION OP/INC			(\$718)	(\$2,511)	(\$1,200)	\$0
Total - HEALTH ADMIN AND INSPECTION			\$32,509	\$24,437	(\$1,200)	\$58,857

**Shire of Boyup Brook
MONTHLY FINANCIAL REPORT**

Details By Function Under The Following Program Titles And Type Of Activities Within The Programme			YTD COMPARATIVES		ADOPTED BUDGET	
			31 JANUARY 2023		2022-2023	
G/L	JOB		Budget	Actual	Income	Expenditure
OTHER HEALTH - MEDICAL SERVICES						
OPERATING EXPENDITURE						
074100	B0105	Housing General Practitioner - Medical Service	\$9,080	\$11,448	\$0	\$14,848
074102		Boyup Brook Medical Services Building Costs	\$18,628	\$24,743	\$0	\$32,355
074101		Medical Services General Operations	\$4,453	\$337	\$0	\$9,810
074103		Medical Service Employee Costs	\$465,887	\$526,554	\$0	\$891,883
074105		Postage, Printing & Stationery	\$2,374	\$2,958	\$0	\$5,000
074106		Medical Ctr - Telephones	\$4,023	\$3,869	\$0	\$6,900
074107		Medical Ctr - Subscriptions	\$5,804	\$3,377	\$0	\$7,329
074108		Medical Ctr - Insurances	\$33,635	\$404	\$0	\$33,635
074109		Medical Bank Fees	\$554	\$269	\$0	\$950
074110		Medical Ctr - Computer Expenses	\$20,514	\$14,756	\$0	\$34,436
074111		Medical Ctr - Medical Supplies & Equipt	\$15,948	\$7,893	\$0	\$27,350
074112		Medical Ctr - Locum Doctor	\$0	\$0	\$0	\$48,600
074113		Medical Ctr - Superannuation	\$47,730	\$52,617	\$0	\$92,037
074114		Medical Ctr - Training	\$5,000	\$735	\$0	\$5,000
074115		Medical Ctr - Sundry Expenses	\$5,400	\$1,749	\$0	\$9,350
074116		Medical Service Provision for Leave Accruals	\$0	\$0	\$0	\$31,245
074117		Medical - Fringe Benefit Tax	\$500	\$159	\$0	\$1,000
074118		Medical Employee (Packaging) Costs	\$0	\$0	\$0	\$1,200
074150		Admin Allocated - Boyup Brook Medical Services	\$40,051	\$35,644	\$0	\$68,687
074191		Depreciation - Medical Centre	\$4,956	\$0	\$0	\$8,500
074190		Depreciation - Housing GP - 5 Rogers Ave	\$3,965	\$0	\$0	\$6,800
Sub Total - PREVENTIVE SRVS - OP/EXP			\$688,502	\$687,514	\$0	\$1,336,915
OPERATING INCOME						
074001		Surgery Turnover	(\$580,360)	(\$351,860)	(\$1,100,000)	\$0
074002		Surgery Rental Income	(\$933)	\$0	(\$1,600)	\$0
074003		Medical - Reimbursement	\$0	\$0	\$0	\$0
Sub Total - PREVENTIVE SRVS - OP/INC			(\$581,293)	(\$351,860)	(\$1,101,600)	\$0
Total - PREVENTIVE SERVICES			\$107,209	\$335,654	(\$1,101,600)	\$1,336,915
PREVENTIVE SERVICE - OTHER						
OPERATING EXPENDITURE						
073100		Analytical Expenses	\$500	\$463	\$0	\$500
Sub Total - PREVENTIVE SRVS - OTHER OP/EXP			\$500	\$463	\$0	\$500
Total - PREVENTIVE SERVICES - OTHER			\$500	\$463	\$0	\$500
OTHER HEALTH						
OPERATING EXPENDITURE						
075100		Ambulance Centre Operation	\$12,943	\$13,426	\$0	\$25,193
075150		Admin Allocated - Other Health	\$8,951	\$7,965	\$0	\$15,350
Sub Total - OTHER HEALTH OP/EXP			\$21,894	\$21,391	\$0	\$40,543
OPERATING INCOME						
Sub Total - OTHER HEALTH OP/INC			\$0	\$0	\$0	\$0
Total - OTHER HEALTH			\$21,894	\$21,391	\$0	\$40,543
Total - HEALTH			\$182,733	\$395,939	(\$1,102,800)	\$1,469,083

Shire of Boyup Brook
MONTHLY FINANCIAL REPORT

Details By Function Under The Following Program Titles
And Type Of Activities Within The Programme

G/L	JOB	YTD COMPARATIVES		ADOPTED BUDGET	
		31 JANUARY 2023		2022-2023	
		Budget	Actual	Income	Expenditure
OTHER EDUCATION					
OPERATING EXPENDITURE					
081100	Community Resource Centre	\$9,509	\$5,142	\$0	\$12,241
081101	Rylington Park Farm Complex	\$0	\$15,062	\$0	\$0
081102	Donations - Other Education	\$250	\$182	\$0	\$250
081103	Early Learning Centre - Employee Costs	\$143,607	\$133,650	\$0	\$241,247
081104	Early Learning Centre - Operating Costs	\$9,985	\$6,233	\$0	\$17,015
081106	ECU Joint Research Support	\$10,000	\$0	\$0	\$10,000
081150	Admin Allocation - Other Education	\$8,954	\$7,965	\$0	\$15,350
081190	Depreciation - Community Resource Centre	\$2,928	\$0	\$0	\$5,020
081191	Depreciation - Rylington Park Farm Complex	\$0	\$0	\$0	\$0
Sub Total - OTHER EDUCATION OP/EXP		\$185,233	\$168,234	\$0	\$301,123
OPERATING INCOME					
081003	Early Learning Centre - Fees & Charges	(\$141,624)	(\$13,541)	(\$210,000)	\$0
081004	Early Learning Centre -Operating Income	\$0	\$0	\$0	\$0
Sub Total - OTHER EDUCATION OP/INC		(\$141,624)	(\$13,541)	(\$210,000)	\$0
Total - OTHER EDUCATION		\$43,609	\$154,693	(\$210,000)	\$301,123
AGED & DISABLED					
OPERATING EXPENDITURE					
082100	Support for Seniors Christmas Lunch	\$1,400	\$752	\$0	\$1,400
082104	Aged Needs Initiative Loan Interest	\$0	\$0	\$0	\$0
082150	Admin Allocated - Aged & Disabled	\$8,951	\$7,965	\$0	\$15,350
Sub Total - AGED & DISABLED OP/EXP		\$10,351	\$8,718	\$0	\$16,750
OPERATING INCOME					
Sub Total - AGED & DISABLED OP/INC		\$0	\$0	\$0	\$0
Total - AGED & DISABLED		\$10,351	\$8,718	\$0	\$16,750
OTHER WELFARE					
OPERATING EXPENDITURE					
083100	Other Welfare Expenses	\$0	\$0	\$0	\$500
083104	Depreciation	\$29	\$0	\$0	\$50
083150	Admin Allocated - Other Welfare	\$26,771	\$23,816	\$0	\$45,895
Sub Total - OTHER WELFARE OP/EXP		\$26,800	\$23,816	\$0	\$46,445
OPERATING INCOME					
Sub Total - OTHER WELFARE OP/INC		\$0	\$0	\$0	\$0
Total - OTHER WELFARE		\$26,800	\$23,816	\$0	\$46,445
Total - EDUCATION & WELFARE		\$80,759	\$187,227	(\$210,000)	\$364,318

Shire of Boyup Brook
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Details By Function Under The Following Program Titles
And Type Of Activities Within The Programme

G/L	JOB	YTD COMPARATIVES 31 JANUARY 2023		ADOPTED BUDGET 2022-2023	
		Budget	Actual	Income	Expenditure
STAFF HOUSING					
OPERATING EXPENDITURE					
091100	Staff Housing	\$5,984	\$0	\$0	\$8,894
091130	Interest Paid Loan 115 - Staff House	\$975	\$1,777	\$0	\$1,841
091190	Depreciation - Staff Housing	\$3,344	\$0	\$0	\$5,735
091150	Staff Housing - Less Amt Allocated to Admin.	\$8,951	\$7,965	\$0	\$15,350
Sub Total - STAFF HOUSING OP/EXP		\$19,254	\$9,742	\$0	\$31,820
OPERATING INCOME					
Sub Total - STAFF HOUSING OP/INC		\$0	\$0	\$0	\$0
Total - STAFF HOUSING		\$19,254	\$9,742	\$0	\$31,820
HOUSING OTHER					
OPERATING EXPENDITURE					
092101	Boyup Brook Citizens Lodge	\$11,882	\$10,407	\$0	\$12,632
092102	Community Housing - Units	\$14,464	\$13,676	\$0	\$18,984
092103	Other	\$4,198	\$2,243	\$0	\$6,623
092104	6 Nix - Operating & Mtce Expense	\$0	\$0	\$0	\$0
092105	House - 1 Rogers Ave	\$8,956	\$7,647	\$0	\$13,891
092107	7 Knapp Street - Operating & Mtce Expense	\$4,566	\$5,121	\$0	\$7,246
092109	Community Housing Maintenance - Grant Funded	\$57,336	\$0	\$0	\$143,340
092150	Admin Allocation - Other Housing	\$9,041	\$8,046	\$0	\$15,505
092191	Depreciation - Other Housing	\$3,248	\$0	\$0	\$5,570
092192	Depreciation - House - 1 Rogers Ave	\$2,545	\$0	\$0	\$4,365
092190	Depreciation - Boyup Brook Citizens Lodge	\$18,884	\$0	\$0	\$32,385
Sub Total - HOUSING OTHER OP/EXP		\$135,120	\$47,140	\$0	\$260,541
HOUSING OPERATING INCOME					
092001	Rent 24A Proctor St	(\$5,210)	(\$7,104)	(\$8,932)	\$0
092002	Rent 24B Proctor St	(\$4,666)	(\$4,400)	(\$8,000)	\$0
092003	Rent 16A Forrest St	(\$5,775)	(\$5,328)	(\$9,900)	\$0
092004	Rent 16B Forrest St	(\$5,483)	(\$6,161)	(\$9,400)	\$0
092005	Rent 1 Rogers St	\$0	\$0	\$0	\$0
092007	Housing Reimbursements	(\$372)	(\$343)	(\$1,000)	\$0
092009	Other Housing: 7 Knapp St	(\$18,246)	(\$19,686)	(\$31,280)	\$0
092011	Community Housing Maintenance Grant	\$0	\$0	(\$143,340)	\$0
Sub Total - HOUSING OTHER OP/INC		(\$39,752)	(\$43,021)	(\$211,852)	\$0
Total - HOUSING OTHER		\$95,368	\$4,119	(\$211,852)	\$260,541
Total - HOUSING		\$114,622	\$13,861	(\$211,852)	\$292,361

Shire of Boyup Brook
MONTHLY FINANCIAL REPORT

G/L JOB		YTD COMPARATIVES		ADOPTED BUDGET	
		31 JANUARY 2023		2022-2023	
Details By Function Under The Following Program Titles And Type Of Activities Within The Programme		Budget	Actual	Income	Expenditure
SANITATION - HOUSEHOLD REFUSE					
OPERATING EXPENDITURE					
101100	Refuse Collection Boyup Brook Townsite Expense	\$29,807	\$25,451	\$0	\$51,100
101101	Recycling Collection Boyup Brook Town Site	\$18,491	\$15,584	\$0	\$31,700
101106	Transfer Station Employee Costs	\$18,553	\$14,823	\$0	\$28,490
101102 B0400	Boyup Brook Transfer Station Costs	\$36,127	\$36,303	\$0	\$56,614
101103	Land Fill Disposal Site	\$34,340	\$33,454	\$0	\$70,208
101104	Townsite Street Bins Collection	\$8,521	\$7,432	\$0	\$14,917
101107	Drum Muster Expenses	\$2,660	\$0	\$0	\$2,660
101108	BB Transfer Station Superannuation	\$1,010	\$1,176	\$0	\$1,700
101119	Waste Bin Maintenance and Delivery	\$3,576	\$884	\$0	\$6,340
101150	Admin Allocated - Waste Management	\$17,811	\$15,851	\$0	\$30,545
101190	Depreciation - Waste Management	\$12,869	\$0	\$0	\$22,070
Sub Total - SANITATION HOUSEHOLD REFUSE OP/EXP		\$183,765	\$150,958	\$0	\$316,344
SANITATION OPERATING INCOME					
101001	Refuse Collection Charges	(\$195,523)	(\$208,669)	(\$195,523)	\$0
101002	Waste Disposal Charges	(\$7,000)	(\$2,860)	(\$7,000)	\$0
101003	Recycling Scheme Income	(\$3,000)	(\$792)	(\$6,000)	\$0
101004	Scrap Metal Income	\$0	\$0	\$0	\$0
Sub Total - SANITATION H/HOLD REFUSE OP/INC		(\$205,523)	(\$212,321)	(\$208,523)	\$0
Total - SANITATION HOUSEHOLD REFUSE		(\$21,758)	(\$61,363)	(\$208,523)	\$316,344
EFFLUENT DRAINAGE SYSTEM					
OPERATING EXPENDITURE					
103100	Septic Tank Inspection Expenses	\$200	\$0	\$0	\$200
103101	Liquid Waste Disposal Site (Stanton Road)	\$8,680	\$1,430	\$0	\$8,680
Sub Total - SEWERAGE OP/EXP		\$8,880	\$1,430	\$0	\$8,880
OPERATING INCOME					
103002	Septic Licence Fees	(\$2,408)	(\$2,596)	(\$2,800)	\$0
Sub Total - SEWERAGE OP/INC		(\$2,408)	(\$2,596)	(\$2,800)	\$0
Total - SEWERAGE		\$6,472	(\$1,166)	(\$2,800)	\$8,880
TOWN PLANNING & REGIONAL DEVELOPMENT					
OPERATING EXPENDITURE					
105100	Town Planning Admin & Control	\$36,447	\$13,652	\$0	\$73,954
105101	Admin Allocation - Town Planning	\$17,817	\$15,851	\$0	\$30,545
Sub Total - TOWN PLAN & REG DEV OP/EXP		\$54,264	\$29,503	\$0	\$104,499
OPERATING INCOME					
105001	Planning Application Fees	(\$1,691)	(\$10,212)	(\$3,000)	\$0
Sub Total - TOWN PLAN & REG DEV OP/INC		(\$1,691)	(\$10,212)	(\$3,000)	\$0
Total - TOWN PLANNING & REGIONAL DEVELOPMENT		\$52,573	\$19,291	(\$3,000)	\$104,499

Shire of Boyup Brook
MONTHLY FINANCIAL REPORT

Details By Function Under The Following Program Titles
And Type Of Activities Within The Programme

G/L	JOB	YTD COMPARATIVES 31 JANUARY 2023		ADOPTED BUDGET 2022-2023	
		Budget	Actual	Income	Expenditure
OTHER COMMUNITY AMENITIES					
OPERATING EXPENDITURE					
106101					
106101					
106101	B0420				
106101	B0421				
106101	G314				
106102					
106102	B0450				
106102	B0451				
106102	B0452				
106103					
106150					
106151					
106191					
106192					
Sub Total - OTHER COMMUNITY AMENITIES OP/EXP					
OPERATING INCOME					
106001					
106002					
106004					
Sub Total - OTHER COMMUNITY AMENITIES OP/INC					
Total - OTHER COMMUNITY AMENITIES					
Total - COMMUNITY AMENITIES					

Shire of Boyup Brook
MONTHLY FINANCIAL REPORT

G/L JOB		YTD COMPARATIVES		ADOPTED BUDGET	
		31 JANUARY 2023		2022-2023	
Details By Function Under The Following Program Titles And Type Of Activities Within The Programme		Budget	Actual	Income	Expenditure
PUBLIC HALL & CIVIC CENTRES					
OPERATING EXPENDITURE					
111100	Boyup Brook Hall - Operation	\$20,189	\$19,152	\$0	\$34,233
111102	Halls - Other Public Halls	\$12,911	\$9,102	\$0	\$18,727
111150	Admin Allocation - Public Halls	\$17,817	\$15,851	\$0	\$30,545
111190	Depreciation - Public Halls	\$29,973	\$0	\$0	\$51,384
Sub Total - PUBLIC HALLS & CIVIC CENTRES OP/EXP		\$80,890	\$44,105	\$0	\$134,889
OPERATING INCOME					
111001	Hall Hire Fees	\$0	(\$18)	\$0	\$0
Sub Total - PUBLIC HALLS & CIVIC CENTRES OP/INC		\$0	(\$18)	\$0	\$0
Total - PUBLIC HALL & CIVIC CENTRES		\$80,890	\$44,087	\$0	\$134,889
OTHER RECREATION & SPORT					
OPERATING EXPENDITURE					
113100	Recreation Complex	\$73,621	\$58,666	\$0	\$111,842
113109	Walk Trails	\$2,127	\$3,448	\$0	\$4,254
113110	Townsite Gardens	\$48,736	\$71,125	\$0	\$73,142
113112	Reserves and Parks Operations	\$36,766	\$55,818	\$0	\$71,089
113119	Other Recreation Facilities	\$24,477	\$16,895	\$0	\$45,473
113120	War Memorial	\$3,133	\$4,003	\$0	\$5,908
113150	Admin Allocation - Other Recreation	\$30,207	\$26,874	\$0	\$51,786
113124	Support for UBAS	\$3,711	\$3,793	\$0	\$3,711
113122	Support for ANZAC Day	\$0	\$0	\$0	\$11,389
113125	Support for Others	\$14,219	\$13,376	\$0	\$24,354
113140	Sundry Plant Items	\$0	\$2,791	\$0	\$11,500
113190	Depreciation - Other Recreation	\$128,573	\$0	\$0	\$220,420
113191	Depreciation - Parks & Gardens	\$29,183	\$0	\$0	\$50,030
113192	Depreciation: Plant & Equipment	\$9,619	\$0	\$0	\$16,490
Sub Total - OTHER RECREATION & SPORT OP/EXP		\$404,372	\$256,788	\$0	\$701,388
OPERATING INCOME					
113003	Rec Ground Use Hire Fees	(\$3,400)	(\$3,541)	(\$3,400)	\$0
113002	Reimbursements - Other Rec	\$0	\$0	\$0	\$0
113022	Recreation - Capital Grants & Contributions	\$0	\$0	(\$95,714)	\$0
Sub Total - OTHER RECREATION & SPORT OP/INC		(\$3,400)	(\$3,541)	(\$99,114)	\$0
Total - OTHER RECREATION & SPORT		\$400,972	\$253,247	(\$99,114)	\$701,388

Shire of Boyup Brook
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G/L JOB		YTD COMPARATIVES		ADOPTED BUDGET	
		31 JANUARY 2023		2022-2023	
Details By Function Under The Following Program Titles And Type Of Activities Within The Programme		Budget	Actual	Income	Expenditure
SWIMMING POOL					
OPERATING EXPENDITURE					
112100	Swimming Pool & Gymnasium General Operations	\$60,937	\$34,906	\$0	\$90,024
112101	Swimming Pool Building Costs	\$51,399	\$41,544	\$0	\$81,940
112102	Swimming Pool Employee Costs	\$55,683	\$50,864	\$0	\$94,986
112103	Interest on Loan 114 - upgrade pool bowl	\$1,777	\$975	\$0	\$3,354
112104	Swimming Pool Employee Superannuation	\$5,047	\$3,182	\$0	\$8,795
112106	Pool Staff - Fringe Benefits Tax	\$1,250	\$0	\$0	\$2,500
112108	Gym Employee Costs	\$0	\$1,604	\$0	\$0
112150	Admin Allocation - Swimming Pool	\$19,709	\$17,540	\$0	\$33,801
112190	Depreciation - Swimming Pool	\$10,344	\$0	\$0	\$17,740
Sub Total - SWIMMING POOL OP/EXP		\$206,148	\$150,615	\$0	\$333,140
OPERATING INCOME					
112003	Pool Daily Admission Fees	(\$11,599)	(\$6,191)	(\$15,700)	\$0
112004	Season Tickets Fees	(\$15,300)	(\$15,193)	(\$17,000)	\$0
112005	Pool Hire Fees	(\$148)	(\$105)	(\$200)	\$0
112006	Gym Equipment Hire Fees	(\$7,000)	(\$7,097)	(\$7,000)	\$0
112007	Pool Teaching Programme Fees	(\$1,940)	(\$2,163)	(\$2,000)	\$0
112008	Vacation Swimming Passes	(\$900)	(\$770)	(\$900)	\$0
112009	Capital Grants and Contributions	\$0	(\$20,000)	\$0	\$0
Sub Total - SWIMMING POOL OP/INC		(\$36,887)	(\$51,517)	(\$42,800)	\$0
Total - SWIMMING POOL		\$169,261	\$99,098	(\$42,800)	\$333,140
TELEVISION & RADIO REBROADCASTING					
OPERATING EXPENDITURE					
114005	Telecommunications Tower	\$3,186	\$1,115	\$0	\$5,228
Sub Total - TV & RADIO REBROADCASTING OP/EXP		\$3,186	\$1,115	\$0	\$5,228
OPERATING INCOME					
114010	Radio & Mobile Tower Site (Including NBN) Fees or Charges	(\$9,795)	(\$9,747)	(\$9,795)	\$0
Sub Total - TV & RADIO REBROADCASTING OP/INC		(\$9,795)	(\$9,747)	(\$9,795)	\$0
Total - TV & RADIO REBROADCASTING		(\$6,609)	(\$8,632)	(\$9,795)	\$5,228
LIBRARIES					
OPERATING EXPENDITURE					
115100	Library Operations	\$12,378	\$10,165	\$0	\$23,115
115101	State Library Grant Expenditure	\$0	\$7,808	\$0	\$0
115150	Admin Allocation - Libraries	\$49,020	\$43,609	\$0	\$84,037
Sub Total - LIBRARIES OP/EXP		\$61,397	\$61,582	\$0	\$107,152
OPERATING INCOME					
115001	State Library Grant Income	\$0	(\$7,808)	\$0	\$0
Sub Total - LIBRARIES OP/INC		\$0	(\$7,808)	\$0	\$0
Total - LIBRARIES		\$61,397	\$53,774	\$0	\$107,152

Shire of Boyup Brook
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Details By Function Under The Following Program Titles
And Type Of Activities Within The Programme

G/L	JOB	YTD COMPARATIVES 31 JANUARY 2023		ADOPTED BUDGET 2022-2023	
		Budget	Actual	Income	Expenditure
OTHER CULTURE					
OPERATING EXPENDITURE					
116100	Museum	\$5,907	\$2,984	\$0	\$9,485
116101	Craft Hut	\$1,218	\$2,183	\$0	\$2,413
116102	Support for Sandakan (Ceremony)	\$9,688	\$6,927	\$0	\$10,123
116150	Admin Allocated - Other Culture	\$8,954	\$7,965	\$0	\$15,350
116190	Depreciation - Other Culture	\$6,938	\$0	\$0	\$11,895
Sub Total - OTHER CULTURE OP/EXP		\$32,705	\$20,060	\$0	\$49,266
OPERATING INCOME					
116001	Reimbursements - Other Culture	\$0	\$0	\$0	\$0
116005	Non-Operating Grants & Contributions	\$0	\$0	\$0	\$0
Sub Total - OTHER CULTURE OP/INC		\$0	\$0	\$0	\$0
Total - OTHER CULTURE		\$32,705	\$20,060	\$0	\$49,266
Total - RECREATION AND CULTURE		\$738,616	\$461,633	(\$151,709)	\$1,331,063

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G/L JOB		YTD COMPARATIVES		ADOPTED BUDGET	
		31 JANUARY 2023		2022-2023	
Details By Function Under The Following Program Titles And Type Of Activities Within The Programme		Budget	Actual	Income	Expenditure
STREETS, RD, BRIDGES, DEPOT - CONSTRUCTION					
OPERATING EXPENDITURE					
Sub Total - ST,RDS,BRIDGES,DEPOT-CONST OP/EXP		\$0	\$0	\$0	\$0
OPERATING INCOME					
121001	RRG Project Grants	(\$917,600)	(\$306,800)	(\$1,147,000)	\$0
121002	Grants Direct - State - MRD - (OP)	(\$187,705)	(\$191,742)	(\$187,705)	\$0
121003	Grants - Federal - Roads to Recovery Grant (Cap)	(\$176,591)	(\$79,127)	(\$593,098)	\$0
121004	Capital Grants Other & Road Contributions	(\$372,954)	(\$514,465)	(\$928,921)	\$0
121007	Special Bridge Funding	\$0	(\$170,000)	\$0	\$0
Sub Total - ST,RDS,BRIDGES,DEPOT - CONST OP/INC		(\$1,654,850)	(\$1,262,134)	(\$2,856,724)	\$0
Total - ST,RDS,BRIDGES,DEPOT - CONST		(\$1,654,850)	(\$1,262,134)	(\$2,856,724)	\$0
STREETS,ROADS, BRIDGES, DEPOTS - MAINTENANCE					
OPERATING EXPENDITURE					
122100	Depot Building - Building Costs	\$27,015	\$43,924	\$0	\$61,748
122101	Depot General Operations	\$7,769	\$7,588	\$0	\$18,752
122103	Road Maintenance & Repairs	\$315,051	\$157,859	\$0	\$421,364
122107	Maintenance Grading	\$73,826	\$105,645	\$0	\$302,567
122105	Repairs & Maint - Bridges	\$62,047	\$133,984	\$0	\$185,061
122106	Shire Radio Network Costs	\$17	\$307	\$0	\$3,857
122108	Drains & Culverts	\$20,940	\$22,840	\$0	\$97,488
122109	Verge Pruning	\$100,635	\$15,434	\$0	\$106,346
122110	Verge Spraying	\$4,747	\$4,243	\$0	\$29,798
122111	Crossovers Maintenance	\$0	\$1,002	\$0	\$750
122112	Town Services Drainage	\$1,212	\$807	\$0	\$3,700
122113	Town Services - Footpaths	\$1,260	\$2,240	\$0	\$5,749
122114	Town Services Road Repairs	\$6,710	\$7,140	\$0	\$10,444
122115	Town Services - Tree Pruning	\$13,938	\$25,335	\$0	\$18,080
122116	Street Lighting	\$14,003	\$17,530	\$0	\$28,000
122117	Traffic Signs	\$327	\$4,818	\$0	\$5,800
122119	Road Building and Other Stock	\$0	\$0	\$0	\$0
122120	Roman Road Data Pickup	\$20,136	\$9,037	\$0	\$20,284
122121	Town Services - Verge Spraying	\$16,170	\$12,524	\$0	\$34,932
122122	Road Sweeping	\$4,563	\$3,553	\$0	\$9,125
122123	Emergency Services	\$9,854	\$31,020	\$0	\$19,401
122126	Streetscaping Expenses	\$5,800	\$14,386	\$0	\$10,000
122127	Consulting Engineer Expenses	\$20,835	\$0	\$0	\$50,000
122131	Rural Street Addressing	\$1,101	\$328	\$0	\$2,381
122150	Admin Allocated - Road Maintenance	\$222,844	\$198,253	\$0	\$382,034
122190	Depreciation - Transport Other	\$12,468	\$0	\$0	\$21,375
122191	Depreciation - Infrastructure	\$15,134	\$0	\$0	\$25,945
122192	Depreciation Roads	\$961,012	\$0	\$0	\$1,647,515
122193	Depreciation - Bridges	\$376,556	\$0	\$0	\$645,550
122194	Depreciation - Footpaths	\$10,065	\$0	\$0	\$17,255
122195	Depreciation - Drainage	\$158,532	\$0	\$0	\$271,780
123119	Minor Assets and Sundry Items	\$12,500	\$7,542	\$0	\$25,000
Sub Total - MTCE STREETS ROADS DEPOTS OP/EXP		\$2,497,066	\$827,935	\$0	\$4,482,081
OPERATING INCOME					
122001	Reimbursements - Roads Mtce	\$0	(\$909)	\$0	\$0
122002	Profit on Disposal of Assets	\$0	\$0	\$0	\$0
122003	Sale of Old Materials and Minor Items	\$0	\$0	\$0	\$0
Sub Total - MTCE STREETS ROADS DEPOTS OP/INC		\$0	(\$909)	\$0	\$0
Total - MTCE STREETS ROADS DEPOTS		\$2,497,066	\$827,025	\$0	\$4,482,081

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G/L JOB		YTD COMPARATIVES		ADOPTED BUDGET	
		31 JANUARY 2023		2022-2023	
Details By Function Under The Following Program Titles And Type Of Activities Within The Programme		Budget	Actual	Income	Expenditure
TRAFFIC CONTROL					
OPERATING EXPENDITURE					
125150	Administration Allocated - Traffic Control	\$66,836	\$59,460	\$0	\$114,581
Sub Total - TRAFFIC CONTROL OP/EXP		\$66,836	\$59,460	\$0	\$114,581
OPERATING INCOME					
125001	Licensing Service	(\$14,210)	(\$17,215)	(\$27,400)	\$0
125002	Motor Vehicle Plates	(\$462)	(\$502)	(\$1,000)	\$0
Sub Total - TRAFFIC CONTROL OP/INC		(\$14,671)	(\$19,305)	(\$28,400)	\$0
Total - TRAFFIC CONTROL		\$52,165	\$40,155	(\$28,400)	\$114,581
AERODROMES					
OPERATING EXPENDITURE					
126100	Airstrip	\$2,945	\$3,339	\$0	\$19,652
126190	Depreciation - Airport	\$13,259	\$0	\$0	\$22,730
Sub Total - AERODROMES OP/EXP		\$16,203	\$3,339	\$0	\$42,382
OPERATING INCOME					
126003	Non-Operating Grants & Subsidies	\$0	(\$34,349)	(\$23,821)	\$0
Sub Total - AERODROMES OP/INC		\$0	(\$34,349)	(\$23,821)	\$0
Total - AERODROMES		\$16,203	(\$31,010)	(\$23,821)	\$42,382
Total - TRANSPORT		\$910,584	(\$425,963)	(\$2,908,945)	\$4,639,044

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Details By Function Under The Following Program Titles
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G/L	JOB	YTD COMPARATIVES 31 JANUARY 2023		ADOPTED BUDGET 2022-2023	
		Budget	Actual	Income	Expenditure
RURAL SERVICES					
OPERATING EXPENDITURE					
131001	Rural Services Expenses	\$2,003	\$0	\$0	\$2,504
Sub Total - RURAL SERVICES OP/EXP		\$2,003	\$0	\$0	\$2,504
OPERATING INCOME					
Sub Total - RURAL SERVICES OP/INC		\$0	\$0	\$0	\$0
Total - RURAL SERVICES		\$2,003	\$0	\$0	\$2,504
TOURISM AND AREA PROMOTION					
OPERATING EXPENDITURE					
132110	Tourist Bay	\$1,176	\$1,201	\$0	\$2,713
132103	Community Development Officer	\$0	\$7,175	\$0	\$0
132104	Tourist Centre	\$21,078	\$16,515	\$0	\$62,219
132106	Promotion Activities	\$13,078	\$250	\$0	\$21,056
132107	OPSPMIL Flax Mill Complex General Operations	\$20,423	\$7,927	\$0	\$35,993
132108	B0665 Caravan Park/Flax Mill Complex Building Operation	\$40,413	\$67,409	\$0	\$97,061
132111	Carnaby Beetle Collection	\$100	\$90	\$0	\$100
132114	Community Development Expenses	\$150	\$0	\$0	\$150
132150	Admin Allocated Tourism	\$31,202	\$27,759	\$0	\$53,492
132151	Admin Allocated Caravan Pk	\$8,954	\$7,965	\$0	\$15,350
132190	Depreciation - Tourism/Area Promotion	\$2,502	\$0	\$0	\$4,290
132191	Depreciation - Caravan Pk/Flax	\$26,322	\$0	\$0	\$45,125
Sub Total - TOURISM & AREA PROMOTION OP/EXP		\$165,398	\$140,669	\$0	\$337,549
OPERATING INCOME					
132002	Caravan Park & Complex Fees & Charges	(\$22,698)	(\$9,110)	(\$60,000)	\$0
132003	Flax Mill Sheds Storage Charges	(\$6,278)	(\$7,668)	(\$12,000)	\$0
132007	Other Income	(\$1,498)	(\$10,798)	(\$4,000)	\$0
132010	Non-Operating Grants, Subsidies & Contributions	\$0	\$0	(\$75,687)	\$0
Sub Total - TOURISM & AREA PROMOTION OP/INC		(\$30,475)	(\$27,577)	(\$151,687)	\$0
Total - TOURISM & AREA PROMOTION		\$134,923	\$113,092	(\$151,687)	\$337,549
BUILDING CONTROL					
OPERATING EXPENDITURE					
133100	Building Control	\$11,543	\$6,925	\$0	\$19,789
133101	Building Control - Other Costs	\$33,600	\$62	\$0	\$33,850
133102	Building Control Superannuation	\$1,212	\$559	\$0	\$2,078
133103	Building Control - BMO	\$4,242	\$2,313	\$0	\$7,400
133150	Admin Allocated - Building Control Expenses	\$8,954	\$7,965	\$0	\$15,350
Sub Total - BUILDING CONTROL OP/EXP		\$59,551	\$17,824	\$0	\$78,467
BUILDING CONTROL OP/INC					
133001	Building Licences (UFEE)	(\$9,608)	(\$5,121)	(\$15,000)	\$0
133002	BCITF Levy - Commission	(\$77)	(\$140)	(\$120)	\$0
133003	Builders Services Levy - Commission	(\$125)	(\$162)	(\$195)	\$0
Sub Total - BUILDING CONTROL OP/INC		(\$9,809)	(\$5,423)	(\$15,315)	\$0
Total - BUILDING CONTROL		\$49,741	\$12,401	(\$15,315)	\$78,467

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Details By Function Under The Following Program Titles
And Type Of Activities Within The Programme

G/L	JOB	YTD COMPARATIVES 31 JANUARY 2023		ADOPTED BUDGET 2022-2023	
		Budget	Actual	Income	Expenditure
SALEYARDS & MARKETS					
OPERATING EXPENDITURE					
134100	Saleyards	\$13,112	\$7,540	\$0	\$18,475
134190	Depreciation - Saleyards & Markets	\$0	\$0	\$0	\$113,345
Sub Total - SALEYARDS & MARKETS OP/EXP		\$13,112	\$7,540	\$0	\$131,820
OPERATING INCOME					
134001	Reimbursements - Saleyards	(\$1,800)	\$0	(\$3,000)	\$0
Sub Total - SALEYARDS & MARKETING OP/INC		(\$1,800)	\$0	(\$3,000)	\$0
Total - SALEYARDS & MARKETS		\$11,312	\$7,540	(\$3,000)	\$131,820
OTHER ECONOMIC SERVICES					
OPERATING EXPENDITURE					
135100	Standpipes Expenses	\$18,219	\$3,893	\$0	\$36,977
135102	Economic Development Projects	\$4,500	\$0	\$0	\$7,500
135103	Country Music Festival Expenses	\$15,455	\$15,000	\$0	\$15,910
135105	Abel Street Shop	\$8,094	\$6,609	\$0	\$12,608
135150	Admin Allocated - Other Economic Development	\$8,954	\$7,965	\$0	\$15,350
135190	Depreciation - Develop/Facilities	\$2,254	\$0	\$0	\$3,865
Sub Total - OTHER ECONOMIC SERVICES OP/EXP		\$57,476	\$33,468	\$0	\$92,210
OPERATING INCOME					
135001	Standpipe Water	(\$4,337)	(\$8,327)	(\$8,000)	\$0
135005	Abel Street Shop Rental	(\$9,216)	(\$9,118)	(\$15,800)	\$0
Sub Total - OTHER ECONOMIC SERVICES OP/INC		(\$13,553)	(\$17,445)	(\$23,800)	\$0
Total - OTHER ECONOMIC SERVICES		\$43,923	\$16,022	(\$23,800)	\$92,210
Total - ECONOMIC SERVICES		\$241,903	\$149,056	(\$193,802)	\$642,550

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G/L JOB		YTD COMPARATIVES		ADOPTED BUDGET	
		31 JANUARY 2023		2022-2023	
Details By Function Under The Following Program Titles And Type Of Activities Within The Programme		Budget	Actual	Income	Expenditure
PRIVATE WORKS					
OPERATING EXPENDITURE					
141100	Private Works - Costs	\$9,640	\$5,510	\$0	\$12,990
Sub Total - PRIVATE WORKS OP/EXP		\$9,640	\$5,510	\$0	\$12,990
OPERATING INCOME					
141001	Private Works - Recoup Charges	(\$9,293)	(\$4,075)	(\$12,990)	\$0
Sub Total - PRIVATE WORKS OP/INC		(\$9,293)	(\$4,075)	(\$12,990)	\$0
Total - PRIVATE WORKS		\$347	\$1,435	(\$12,990)	\$12,990
PUBLIC WORKS OVERHEADS					
OPERATING EXPENDITURE					
143100	Supervision	\$124,060	\$187,550	\$0	\$311,084
143101	Consultant Engineer	\$7,500	\$0	\$0	\$15,000
143102	Works Manager Vehicle Op Costs	\$620	\$0	\$0	\$2,380
143103	FBT Works Staff	\$1,800	\$0	\$0	\$3,600
143104	Insurance on Works	\$19,945	\$20,266	\$0	\$19,945
143105	Superannuation of Workmen	\$69,226	\$78,495	\$0	\$129,371
143106	PWOH Leave - Depot	\$91,941	\$105,367	\$0	\$185,439
143107	Protective Clothing	\$580	\$4,083	\$0	\$5,800
143108	Uniforms	\$1,211	\$0	\$0	\$1,615
143109	Training & Meeting Expenses	\$28,451	\$18,226	\$0	\$57,337
143110	Occupational Health & Safety	\$17,538	\$37,985	\$0	\$46,128
143111	Other Expenses	\$78	\$124	\$0	\$1,015
143113	Waste Oil Disposal Costs	\$0	\$0	\$0	\$0
143115	Provision for Leave Accruals	\$0	\$0	\$0	\$9,780
143116	Conferences and Training Courses (MOW)	\$2,625	\$300	\$0	\$5,250
143117	Works Manager Housing	\$0	\$75	\$0	\$15,600
143150	Admin Allocated - Works Overhead	\$17,817	\$15,851	\$0	\$30,545
143180	LESS PWOH ALLOCATED - PROJECTS	(\$383,392)	(\$464,556)	\$0	(\$839,889)
Sub Total - PUBLIC WORKS O/HEADS OP/EXP		\$0	\$3,765	\$0	\$0
OPERATING INCOME					
143001	Workers Compensation Reimbursements	\$0	(\$7,895)	(\$600)	\$0
Sub Total - PUBLIC WORKS O/HEADS OP/INC		\$0	(\$7,895)	(\$600)	\$0
Total - PUBLIC WORKS OVERHEADS		\$0	(\$4,130)	(\$600)	\$0

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Details By Function Under The Following Program Titles
And Type Of Activities Within The Programme

G/L	JOB	YTD COMPARATIVES 31 JANUARY 2023		ADOPTED BUDGET 2022-2023	
		Budget	Actual	Income	Expenditure
PLANT OPERATIONS COSTS					
OPERATING EXPENDITURE					
144100	Repair Wages	\$63,383	\$32,367	\$0	\$99,910
144101	Fuel & Oil	\$148,586	\$118,516	\$0	\$265,000
144102	Tyres & Tubes	\$4,479	\$10,238	\$0	\$16,215
144103	Parts and Repairs	\$33,982	\$37,859	\$0	\$155,950
144104	Licenses	\$425	\$710	\$0	\$8,500
144105	Insurance	\$35,110	\$44,289	\$0	\$35,110
144106	Blades & Points	\$5,000	\$3,905	\$0	\$10,000
144107	Expendable Tools	\$7,058	\$3,858	\$0	\$12,100
144108	Freight Costs	\$0	\$0	\$0	\$0
144110	Superannuation - Mechanic	\$6,896	\$5,418	\$0	\$10,870
144150	Admin Allocated POC	\$5,336	\$4,747	\$0	\$9,148
144190	Depreciation - Plant	\$134,788	\$0	\$0	\$231,075
144180	LESS POC ALLOCATED - PROJECTS	(\$445,042)	(\$458,185)	\$0	(\$853,878)
Sub Total - PLANT OPERATIONS COSTS OP/EXP		\$0	(\$196,280)	\$0	\$0
OPERATING INCOME					
144001	Diesel Rebate	(\$17,850)	\$0	(\$35,000)	\$0
144002	Reimbursements - Operating	\$0	\$0	\$0	\$0
Sub Total - PLANT OPERATIONS COSTS OP/INC		(\$17,850)	\$0	(\$35,000)	\$0
Total - PLANT OPERATIONS COSTS		(\$17,850)	(\$196,280)	(\$35,000)	\$0
SALARIES AND WAGES					
OPERATING EXPENDITURE					
145100	Gross Total Salaries and Wages	\$2,075,055	\$2,089,661	\$0	\$3,557,380
145130	LESS SALS/WAGES ALLOCATED	(\$2,075,055)	(\$2,071,933)	\$0	(\$3,557,380)
145101	Workers Compensation Expenses	\$0	\$30,865	\$0	\$0
Sub Total - SALARIES AND WAGES OP/EXP		\$0	\$48,593	\$0	\$0
OPERATING INCOME					
145001	Reimbursements - Administration	\$0	\$0	\$0	\$0
Sub Total - SALARIES AND WAGES OP/INC		\$0	\$0	\$0	\$0
Total - SALARIES AND WAGES		\$0	\$48,593	\$0	\$0

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G/L JOB		YTD COMPARATIVES		ADOPTED BUDGET	
		31 JANUARY 2023		2022-2023	
Details By Function Under The Following Program Titles And Type Of Activities Within The Programme		Budget	Actual	Income	Expenditure
ADMINISTRATION					
OPERATING EXPENDITURE					
146100	Advertising	\$3,339	\$4,129	\$0	\$7,745
146101	Audit Fees	\$39,000	\$40,380	\$0	\$39,000
146102	Bank Fees	\$8,131	\$930	\$0	\$10,400
146103	Administration Building Costs	\$29,180	\$32,932	\$0	\$55,543
146105	Administration Staff Employee Costs	\$395,705	\$428,862	\$0	\$820,170
146106	Consultants	\$59,294	\$63,860	\$0	\$153,000
146108	Insurance	\$14,730	\$14,910	\$0	\$14,730
146109	Legal Expenses	\$9,760	\$4,436	\$0	\$20,000
146110	IT System Operation & maintenance	\$97,685	\$85,437	\$0	\$137,435
146111	Office Equipment Maintenance	\$2,500	\$0	\$0	\$5,000
146112	Administration - Postage & Freight	\$2,804	\$3,193	\$0	\$5,500
146113	Printing and Stationery	\$8,837	\$8,415	\$0	\$12,700
146114	Administration Vehicle Costs	\$768	\$0	\$0	\$800
146115	Administration - Fringe Benefits Tax	\$4,800	\$2,118	\$0	\$9,600
146117	Employers Indemnity Insurance	\$35,245	\$35,869	\$0	\$35,245
146118	Subscriptions	\$21,440	\$19,610	\$0	\$21,440
146119	Administration Staff Housing	\$11,467	\$12,190	\$0	\$19,160
146120	Uniform Allowance	\$990	\$217	\$0	\$3,000
146121	Telephones	\$5,833	\$3,704	\$0	\$10,000
146122	Minor Furniture & Equip Under \$2000	\$4,500	\$1,163	\$0	\$7,500
146123	Conferences/Training/Professional Development	\$8,029	\$6,081	\$0	\$16,070
146124	Superannuation	\$54,059	\$49,623	\$0	\$120,170
146126	Employee (Packaging) Costs	\$0	\$0	\$0	\$725
146128	Administration - OSH	\$1,775	\$122	\$0	\$3,550
146190	Depreciation - Administration	\$12,839	\$0	\$0	\$22,010
146150	Less Administration Costs Alloc	(\$832,708)	(\$804,597)	\$0	(\$1,550,493)
Sub Total - ADMINISTRATION OP/EXP		\$0	\$13,583	\$0	\$0
OPERATING INCOME - ADMINISTRATION					
146001	Reimbursements - Administration	(\$300)	(\$292)	(\$300)	\$0
Sub Total - ADMINISTRATION OP/INC		(\$300)	(\$292)	(\$300)	\$0
Total - ADMINISTRATION		(\$300)	\$13,290	(\$300)	\$0
UNCLASSIFIED					
OPERATING EXPENDITURE					
149001	Rylington Park Operational Expenses	\$416,026	\$376,257	\$0	\$818,586
149002	Rylington Park Asset Depreciation	\$9,832	\$0	\$0	\$16,855
Sub Total - UNCLASSIFIED OP/EXP		\$425,858	\$376,257	\$0	\$835,441
OPERATING INCOME					
147100	Revaluation Profit on Local Govt House Unit Trust	\$0	\$0		
149101	Rylington Park Income	(\$349,780)	(\$624,020)	(\$832,337)	\$0
Sub Total - UNCLASSIFIED OP/INC		(\$349,780)	(\$624,020)	(\$832,337)	\$0
Total - UNCLASSIFIED		\$76,078	(\$247,763)	(\$832,337)	\$835,441
Total - OTHER PROPERTY AND SERVICES		\$58,275	(\$384,855)	(\$881,227)	\$848,431

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MONTHLY FINANCIAL REPORT

Details By Function Under The Following Program Titles
And Type Of Activities Within The Programme

G/L	JOB	YTD COMPARATIVES 31 JANUARY 2023		ADOPTED BUDGET 2022-2023	
		Budget	Actual	Income	Expenditure
TRANSFERS TO/FROM RESERVES					
EXPENDITURE					
300101	Transfer to Reserves	\$583	\$0	\$0	\$101,000
Sub Total - TRANSFER TO OTHER COUNCIL FUNDS		\$583	\$0	\$0	\$101,000
INCOME					
300102	Transfer from Reserves	\$0	\$0	(\$154,100)	\$0
Total - TRANSFER FROM OTHER COUNCIL FUNDS		\$0	\$0	(\$154,100)	\$0
Total - FUND TRANSFER		\$583	\$0	(\$154,100)	\$101,000
000000	(Surplus) / Deficit - Carried Forward	(\$2,413,807)	(\$2,375,392)	(\$2,413,807)	\$0
Sub Total - SURPLUS C/FWD		(\$2,413,807)	(\$2,375,392)	(\$2,413,807)	\$0
Total - SURPLUS		(\$2,413,807)	(\$2,375,392)	(\$2,413,807)	\$0
NEW LONG TERM LOANS					
INCOME					
147500	New Loan Land Acquisition	\$0	\$0	\$0	\$0
New	New Loan - Caravan Park Ablutions	\$0	\$0	(\$250,000)	\$0
Sub Total - LONG TERM LOANS		\$0	\$0	(\$250,000)	\$0
Total - DEFERRED ASSETS		\$0	\$0	(\$250,000)	\$0
LIABILITY LOANS & FINANCE LEASES - PRINCIPAL REPAYMENTS					
CAPITAL EXPENDITURE					
146800	Principal Repayment on Loans	\$10,537	\$10,536	\$0	\$21,384
146801	Principal Repayments - Finance Leases	\$11,214	\$0	\$0	\$19,224
Sub Total - LOAN REPAYMENTS		\$21,751	\$10,536	\$0	\$40,608
CAPITAL INCOME					
Sub Total - LOANS RAISED		\$0	\$0	\$0	\$0
Total - NON CURRENT LIABILITIES		\$21,751	\$10,536	\$0	\$40,608

Shire of Boyup Brook
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Details By Function Under The Following Program Titles
And Type Of Activities Within The Programme

G/L	JOB	YTD COMPARATIVES 31 JANUARY 2023		ADOPTED BUDGET 2022-2023	
		Budget	Actual	Income	Expenditure
OPERATING ACTIVITIES EXCLUDED FROM BUDGET					
000000	Depreciation Written Back	(\$2,026,416)	\$0	\$0	(\$3,586,909)
000000	Book Value of Assets Sold Written Back	(\$75,000)	\$0	\$0	(\$175,000)
000000	Profit/Loss on Sale of Asset Written Back	\$0	\$0	\$0	\$0
	Movement in Accrued Interest on Loans	\$0	\$0	\$0	\$0
	Movement in Accrued Interest on investments	\$0	\$0	\$0	\$0
	Movement in Stock On Hand	\$0	\$0	\$0	\$0
	Movement in Accrued Expenses	\$0	\$0	\$0	\$0
	Movement in Accrued Wages	\$0	\$0	\$0	\$0
	Movement in Employee Benefits (Current)	\$0	\$0	\$0	\$0
000000	Long Service Leave - Non Cash	\$0	\$0	\$0	(\$44,635)
000000	Deferred Pensioner Rates		\$0	\$0	\$0
Sub Total - OPERATING ACTIVITIES EXCLUDED		(\$2,101,416)	\$0	\$0	(\$3,806,544)
Total - OPERATING ACTIVITIES EXCLUDED		(\$2,101,416)	\$0	\$0	(\$3,806,544)

Shire of Boyup Brook
MONTHLY FINANCIAL REPORT

Details By Function Under The Following Program Titles
And Type Of Activities Within The Programme

G/L	JOB	YTD COMPARATIVES 31 JANUARY 2023		ADOPTED BUDGET 2022-2023	
		Budget	Actual	Income	Expenditure
FURNITURE & EQUIPMENT					
HEALTH					
CAPITAL EXPENDITURE					
074600	Surgery Equipment - Capital - (F&E)	\$10,000	\$0	\$0	\$10,000
Sub Total - CAPITAL WORKS		\$10,000	\$0	\$0	\$10,000
Total - HEALTH		\$10,000	\$0	\$0	\$10,000
FURNITURE AND EQUIPMENT					
OTHER PROPERTY & SERVICES					
CAPITAL EXPENDITURE					
149504	Rylington Park Furniture & Equipment	\$7,680	\$9,024	\$0	\$7,680
Sub Total - CAPITAL WORKS		\$7,680	\$9,024	\$0	\$7,680
Total - OTHER PROPERTY		\$7,680	\$9,024	\$0	\$7,680
Total - FURNITURE AND EQUIPMENT		\$17,680	\$9,024	\$0	\$17,680

Shire of Boyup Brook
MONTHLY FINANCIAL REPORT

Details By Function Under The Following Program Titles
And Type Of Activities Within The Programme

G/L	JOB	YTD COMPARATIVES 31 JANUARY 2023		ADOPTED BUDGET 2022-2023	
		Budget	Actual	Income	Expenditure
LAND AND BUILDINGS					
HEALTH					
CAPITAL EXPENDITURE					
074400	Medical Centre Building Capital	\$20,000	\$0	\$0	\$20,000
Sub Total - CAPITAL WORKS		\$20,000	\$0	\$0	\$20,000
TOTAL - HEALTH		\$20,000	\$0	\$0	\$20,000
LAND AND BUILDINGS					
EDUCATION & WELFARE					
EXPENDITURE					
081400	Land & Buildings - CRC Capital Renewal	\$20,000	\$0	\$0	\$20,000
081401	Buildings - Early Learning Centre Capital	\$8,000	\$0	\$0	\$8,000
Sub Total - CAPITAL WORKS		\$28,000	\$0	\$0	\$28,000
TOTAL - EDUCATION & WELFARE		\$28,000	\$0	\$0	\$28,000
LAND AND BUILDINGS					
RECREATION AND CULTURE					
CAPITAL EXPENDITURE					
111400	Other Halls - Land & Buildings (L&B)				
111400 LRC018	Mayanup Hall Building Refurbishment	\$20,000	\$0	\$0	\$20,000
111400 LRC019	Tonebridge Hall Refurbishment	\$40,000	\$50,483	\$0	\$40,000
111400 LRC022	Dinninup Hall Refurbishment	\$45,000	\$0	\$0	\$45,000
111400 LRC021	Wilga Hall Refurbishment	\$20,000	\$0	\$0	\$20,000
111400 LRC023	Kulikup Hall Refurbishment	\$20,000	\$0	\$0	\$20,000
111403	Town Hall - Building Upgrades & Refurbishments				
111403 LRC017	Town Hall Building Refurbishment	\$195,000	\$1,053	\$0	\$300,000
112504	LRCI - Swimming Pool Building				
112504 LRC006	LRCI 2/3 - Swimming Pool Building - Upgrade Entrance	\$21,000	\$18,813	\$0	\$30,000
Sub Total - CAPITAL WORKS		\$361,000	\$70,349	\$0	\$475,000
Total - RECREATION AND CULTURE		\$361,000	\$70,349	\$0	\$475,000
LAND AND BUILDINGS					
ECONOMIC SERVICES					
EXPENDITURE					
132405	Flaxmill Caravan Park Ablution Block	\$150,000	\$16,273	\$0	\$250,000
132411 LRC004	Local Roads & Community Building Projects - FlaxMill	\$0	\$360	\$0	\$0
Sub Total - CAPITAL WORKS		\$150,000	\$16,633	\$0	\$250,000
Total - ECONOMIC SERVICES		\$150,000	\$16,633	\$0	\$250,000

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Details By Function Under The Following Program Titles
And Type Of Activities Within The Programme

G/L	JOB	YTD COMPARATIVES 31 JANUARY 2023		ADOPTED BUDGET 2022-2023	
		Budget	Actual	Income	Expenditure
LAND AND BUILDINGS					
OTHER PROPERTY AND SERVICES					
CAPITAL EXPENDITURE					
149503	Rylington Park House Capital	\$22,500	\$0	\$0	\$22,500
149501	Rylington Park Chemical Shed	\$0	\$7,031	\$0	\$0
Sub Total - CAPITAL WORKS		\$22,500	\$7,031	\$0	\$22,500
Total - OTHER PROPERTY AND SERVICES		\$22,500	\$7,031	\$0	\$22,500
Total - LAND AND BUILDINGS		\$581,500	\$94,013	\$0	\$795,500

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G/L	JOB	YTD COMPARATIVES 31 JANUARY 2023		ADOPTED BUDGET 2022-2023	
		Budget	Actual	Income	Expenditure
PLANT AND EQUIPMENT					
LAW ORDER & PUBLIC SAFETY					
CAPITAL EXPENDITURE					
051600	ESL Plant & Equipment	\$23,160	\$1,478	\$0	\$23,160
Sub Total - CAPITAL WORKS		\$23,160	\$1,478	\$0	\$23,160
Total - LAW ORDER & PUBLIC SAFETY		\$23,160	\$1,478	\$0	\$23,160
PLANT AND EQUIPMENT					
RECREATION AND CULTURE					
CAPITAL EXPENDITURE					
113907	Plant & Equipment - Parks & Gardens	\$7,500	\$0	\$0	\$7,500
Sub Total - CAPITAL WORKS		\$7,500	\$0	\$0	\$7,500
Total - RECREATION AND CULTURE		\$7,500	\$0	\$0	\$7,500
PLANT AND EQUIPMENT					
TRANSPORT					
CAPITAL EXPENDITURE					
123603	DWS - Fleet Vehicles	\$45,000	\$41,420	\$0	\$45,000
123609	Light Plant (eg Portable Traffic Lights) - Plant & Equip	\$22,000	\$0	\$0	\$29,500
123610	Heavy Plant (Graders etc) Purchases	\$276,100	\$165,300	\$0	\$513,100
Sub Total - CAPITAL WORKS		\$343,100	\$206,720	\$0	\$587,600
Total - TRANSPORT		\$343,100	\$206,720	\$0	\$587,600
PLANT AND EQUIPMENT					
OTHER PROPERTY & SERVICES					
CAPITAL EXPENDITURE					
146500	Pool Vehicle	\$52,000	\$0	\$0	\$52,000
149502	Rylington Park Plant & Equipment	\$0	\$10,000	\$0	\$85,000
Sub Total - CAPITAL WORKS		\$52,000	\$10,000	\$0	\$137,000
Total - OTHER PROPERTY & SERVICES		\$52,000	\$10,000	\$0	\$137,000
Total - PLANT AND EQUIPMENT		\$425,760	\$218,198	\$0	\$755,260

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G/L	JOB		YTD COMPARATIVES		ADOPTED BUDGET	
			31 JANUARY 2023		2022-2023	
			Budget	Actual	Income	Expenditure
ROAD INFRASTRUCTURE CAPITAL						
ROAD CONSTRUCTION						
121403	x	ROADS TO RECOVERY PROJECTS				
121403	RTR003	RTR Scotts Brook Road	\$0	\$0	\$0	\$0
121403	RTR007	Kulikup Rd South	\$432,888	\$319,274	\$0	\$432,888
121403	RTR008	Jayes Road	\$0	\$0	\$0	\$202,115
121403	RTR038	Lodge Road	\$0	\$0	\$0	\$77,333
121403	RTR309	RTR - Sinnott Road	\$0	\$0	\$0	\$56,718
121404	xx	REGIONAL ROAD GROUP			\$0	\$0
121404	RRG148	RRG Boyup Brook-Cranbrook Rd	\$443,989	\$175,701	\$0	\$443,989
121404	RGA148	RRG Boyup Brook-Cranbrook Rd 21-22 C/Fwd	\$142,200	\$177,971	\$0	\$142,200
121404	RRG210	RRG Boyup Brook-Arthur River Rd 2020/21 C/Fwd	\$552,000	\$120,023	\$0	\$552,000
121404	RGA210	RRG Boyup Brook-Arthur River Rd	\$0	\$0	\$0	\$0
121404	RRG004	RRG Winnejup Road	\$321,820	\$5,950	\$0	\$321,820
121404	RGA004	RRG Winnejup Road 21-22 C/Fwd	\$228,099	\$3,523	\$0	\$228,099
121400		MUNICIPAL ROAD PROJECTS			\$0	\$0
121400	MU501	Muni - Gravel Pit Rehabilitation	\$8,888	\$0	\$0	\$20,000
121401		Municipal Funded Gravel Sheeting Road Projects	\$11,207	\$0	\$0	\$40,025
121410		Municipal Funded - Winter Grading	\$228,402	\$411,270	\$0	\$380,670
121450	MR0741	BRIDGES - Bridge 0741 - Boree Gully Rd	\$0	\$170,000	\$0	\$0
Sub Total - CAPITAL WORKS			\$2,369,493	\$1,383,713	\$0	\$2,897,857
Total - ROADS			\$2,369,493	\$1,383,713	\$0	\$2,897,857
Total - INFRASTRUCTURE ASSETS ROADS			\$2,369,493	\$1,383,713	\$0	\$2,897,857

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Details By Function Under The Following Program Titles
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G/L	JOB	YTD COMPARATIVES 31 JANUARY 2023		ADOPTED BUDGET 2022-2023		
		Budget	Actual	Income	Expenditure	
FOOTPATHS						
121700	FP111	Inglis St Footpath Construction	\$0	\$0	\$0	\$75,075
Sub Total - CAPITAL WORKS			\$0	\$0	\$0	\$75,075
Total - TRANSPORT - FOOTPATHS			\$0	\$0	\$0	\$75,075
Total - FOOTPATH ASSETS			\$0	\$0	\$0	\$75,075
AIRPORT						
126400		Aerodrome Infrastructure	\$0	(\$841)	\$0	\$0
Sub Total - CAPITAL WORKS			\$0	(\$841)	\$0	\$0
Total - TRANSPORT - AERODROMES			\$0	(\$841)	\$0	\$0
Total - AERODROME ASSETS			\$0	(\$841)	\$0	\$0
DRAINAGE						
111800		Drainage - Town Hall				
111800	LRC024	Drainage Works - Town Hall Surrounds	\$97,500	\$6,488	\$0	\$150,000
121411		Drainage Projects - Municipal Funded				
121411	DC163	Spencer Road Culvert	\$67,203	\$0	\$0	\$67,203
Sub Total - CAPITAL WORKS			\$164,703	\$6,488	\$0	\$217,203
Total - TRANSPORT - DRAINAGE			\$164,703	\$6,488	\$0	\$217,203
Total - DRAINAGE ASSETS			\$164,703	\$6,488	\$0	\$217,203
PARKS & GARDENS INFRASTRUCTURE						
113909		Parks & Gardens Infrastructure				
113909	LRC026	Sandakan Playground Upgrade	\$0	\$0	\$0	\$100,000
Sub Total - CAPITAL WORKS			\$0	\$0	\$0	\$100,000
Total - OTHER SPORT & RECREATION - PARKS & OVALS			\$0	\$0	\$0	\$100,000
Total - PARKS & OVALS ASSETS			\$0	\$0	\$0	\$100,000
RECREATION INFRASTRUCTURE						
112503	LRC010	LRCI 2 Swimming Pool Capital Upgrades	\$0	\$9,771	\$0	\$0
113906		Recreation Infrastructure - Capital Renewals - Pipeline	\$0	\$10	\$0	\$150,000
Sub Total - CAPITAL WORKS			\$0	\$9,781	\$0	\$150,000
Total - RECREATION INFRASTRUCTURE			\$0	\$9,781	\$0	\$150,000
Total - INFRASTRUCTURE ASSETS - RECREATION			\$0	\$9,781	\$0	\$150,000

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And Type Of Activities Within The Programme

G/L	JOB	YTD COMPARATIVES 31 JANUARY 2023		ADOPTED BUDGET 2022-2023	
		Budget	Actual	Income	Expenditure
INFRASTRUCTURE OTHER					
RECREATION & CULTURE					
111900		Other Infrastructure - Town Hall			
111900	LRC025		Town Hall Car Park & Landscaping	\$0	\$215,062
Sub Total - CAPITAL WORKS		\$139,790	\$749	\$0	\$215,062
Total - RECREATION & CULTURE		\$139,790	\$749	\$0	\$215,062
INFRASTRUCTURE OTHER					
ECONOMIC SERVICES					
132901		Flaxmill Fence & Water Supply Upgrade		\$0	\$89,117
132403		Caravan Park Lighting Upgrade (Other Inf)		\$0	\$0
132410	LRC002	LRCl 1 - Flax Mill / Caravan Park Upgrades		\$0	\$0
132412		Caravan Park Additional Bays Development		\$0	\$7,983
Sub Total - CAPITAL WORKS		\$89,117	\$67,561	\$0	\$89,117
Total - ECONOMIC SERVICES		\$89,117	\$67,561	\$0	\$89,117
INFRASTRUCTURE OTHER					
OTHER PROPERTY & SERVICES					
149500		Rylington Park Other Infrastructure		\$0	\$40,000
Sub Total - CAPITAL WORKS		\$40,000	\$0	\$0	\$40,000
Total - OTHER PROPERTY & SERVICES		\$40,000	\$0	\$0	\$40,000
Total - INFRASTRUCTURE ASSETS - OTHER		\$268,907	\$68,310	\$0	\$344,179
GRAND TOTALS		(\$1,405,101)	(\$3,516,043)	(\$12,985,373)	\$12,985,373