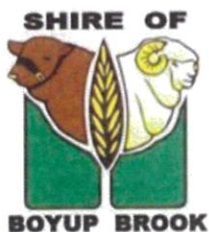


BUSINESS CASE 2020-21

FOR BOYUP BROOK CENTENNIAL TOWER



\$421,820
Funding Request

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Glossary of terms

In the context of this document:

Agency means a Western Australian State Government Agency.

Applicant means the Organisation or Agency preparing a Business Case requesting State Government Funding for a Project.

Business Case means the information prepared by the Applicant demonstrating the merits of the Project and substantiating the case for Funding the Project.

Deliverables means the expected activities or outputs from the Project.

Department means the Department of Primary Industries and Regional Development.

Industry Participation Plan means a clear statement of the Applicant's commitment to The Building Local Industry Policy and an indication of how local industry participation will be maximised.

Innovation is the implementation of a new or significantly improved product (good or service) process, new marketing method or a new organisational method in business practices, or external relations¹.

Leveraged Funding is the additional cash Funding obtained for the Project from other sources.

Option means a feasible, alternative delivery mechanism to the Project which was considered by the Applicant when preparing the Business Case Proposal.

Organisation means an incorporated entity that is not an Agency. An organisation may be a not-for-profit entity, government trading enterprise or local government.

Project means the specific activities, works or services proposed in the Business Case for which State Government Funding is being sought.

Project Outcome means the intended impact (the benefits, change or difference in the community, region or State) that is expected as a result of undertaking the Project.

Project Output means the tangible end product(s) or service of the Project. For example, an infrastructure asset or the services delivered.

Royalties for Regions means the Western Australian State Government's Royalties for Regions program.

Stakeholder means a party with an interest in or who is affected by the Project.

Sustainability refers to the financial viability of a Project and the means of support for the Project beyond the life of funding for this Project.

¹ Organisation for Economic Cooperation and Development and Development Statistical Office of the European Communities (2005 Third Edition) Oslo Manual Guidelines for collecting and interpreting innovation data, 3rd edition, OECD and European Commission, Paris.

1. EXECUTIVE SUMMARY

The Boyup Brook Cooperative (the Co-op) was established in 1919 and celebrated its centenary last year. In preparing for its centenary celebrations, the Co-op Board decided they wanted to 'give something back' to the town that could be useful and would assist in the economic development of the town; something to grow Boyup Brook for the next century. After much consideration, investigation into assets in other towns and discussion with the community, the Board agreed on a Centennial Tower; a viewing platform that could be used to take in the amazing scenery around Boyup Brook, assist with emergency response (fire) and could also be used for fitness and as a drawcard to the town.

The Co-op have since worked closely with the Shire of Boyup Brook and other stakeholders to develop this project, which will be owned, managed and maintained by the Shire of Boyup Brook. The project is to construct a Centennial Viewing Tower 28m high, with viewing decks at 13m and at 26m on the highest point in town, enabling views in excess of 20 kilometres in every direction. The project will include sufficient parking and turning space for larger vehicles, including caravans, new roadway to access the tower and an accessible ablutions block, with landscaping around the tower base. The tower will be located in an area frequented by tourists, due to the number of wildflowers and the proximity to many of the walking trails, including the main tourist walking trail, Bicentennial Trail, which is a 6km walk through the prettiest parts of Boyup Brook and along the edge of the river.

The purpose of this project is to be a catalyst to attract visitors to Boyup Brook. It will work with the other tourism offerings in the town and the projects currently being delivered by the Shire to provide a compelling attraction for visitors. In line with Tourism WA's pillars of 'barefoot luxury' and 'majestic landscapes and big skies', this project will help Boyup Brook to target its key tourism markets by creating a centrepiece nature-based experience upon which to build its marketing of the town and its numerous, complementary tourism offerings.

The total project cost is \$629,820. The Co-op Board has committed \$50,000 to the project and also managed to source a further \$50,000 from a private business, as well as \$8,000 worth of transport in-kind. The Shire of Boyup Brook has also committed to provide \$100,000 (dependent on obtaining all other funding). As such, \$200,000 in funding, as well as in-kind contributions have been secured for this project. The remaining \$421,820 is being requested from State Government through this business case.

An economic analysis of the project completed by Regional Development Australia – South West found that the project will result in significant benefits both during and post construction, with the majority of these benefits remaining in the South West region. The project is expected to result in benefits during construction of:

- A total increase in output of \$1.495million
- 3 additional FTE jobs
- Total value-add of \$514,800

The project will also result in increased visitor expenditure annually and will have a significant impact on the town and the region's economy ongoing. The total direct effect of increased visitor expenditure is estimated to be:

- \$435,839 annually in increased economic output
- 1FTE ongoing job created
- Increase in Gross Regional Product of \$204,192

It is anticipated that, in addition to the direct benefits outlined, there will be significant additional indirect and associated benefits arising from this project.

The project is therefore in direct alignment with the WA State Government's whole-of-government priorities of 'A Strong Economy' and 'Regional Prosperity', as well as numerous other State, local and regional policies and frameworks.

This Centennial Tower project will deliver a tourism asset in Boyup Brook that attracts visitors, provides additional activities and amenities for the local community and is a steppingstone to increase the economic contribution of tourism to the town and the wider region.



2. PROJECT SCOPE AND EVALUATION

2.1. Project Purpose

The intention of this project is to deliver a tourism and emergency management asset which will be linked to the Bicentennial Track, improving access and connectivity in and around Boyup Brook. The Tower will provide a focal point for visitation, emergency management and recreational activity, generating additional appeal and amenities within the local community and supporting the economic development of the town and the wider region.

The project is to construct a Centennial Viewing Tower 28m high, with viewing decks at 13m and at 26m, with the ability to see 20km in the distance. The tower is intended to be used much like the DNA Tower in Perth's King's Park. The DNA Tower is the highest viewing point in Kings Park with spectacular views throughout the climb. It provides visitors with a fantastic vantage point to view the surrounding scenery and take impressive photos, as well as being used for fitness. For many people, it is the highlight of a visit to Kings Park as they are able to take in amazing scenery and enjoy the exhilaration of climbing to such a height.

Many places around the world have an observation tower or viewing tower that is a focal point in the town and is tall enough to enable visitors to see the sights. These assets are on all travel itineraries and tourism recommendations for activities to do whilst visiting the town. In many cases, they are a key reason for tourists to visit that town. The economics of such viewing platforms is well known and was recently highlighted with the opening of the \$24 million Kalbarri Skywalk. WA Environment Minister Stephen Dawson said the project would boost local tourism, with it "projected to inject up to \$73 million in additional expenditure over the next decade into the local economy and create jobs for tourism businesses, accommodation providers and associated service industries,"².

Whilst it is acknowledged that Boyup Brook is not the tourist mecca that Kalbarri or King's Park are, the town has considerable natural assets and advantages that lend itself to playing a much more important role in contributing to the economic value of tourism to the South West region than it currently does.

The competitive advantages Boyup Brook has to build its tourism industry include:

- Location at the geographical centre of the beautiful Blackwood River basin.
- The attraction of adventure tourism offerings on the Blackwood River. Swimming, fishing and canoeing on the river are popular activities.
- The beauty of a clean, pollution-free environment, with abundant flora and fauna.
- Incredible wildflowers during season. Boyup Brook is a welcome escape from modern city life and the chance to enjoy some of Western Australia's prettiest scenery.
- Numerous walking, cycling and horse-riding trails to make the most of the beautiful surrounds. Bushwalking is especially popular amongst visitors.
- An attractive town centre with artwork sculptures and historic buildings throughout the town.
- Good location relative to other major regional centres where significant development is underway in the strengthening of tourist offerings - 40 minutes to Collie and Manjimup and just over an hour to Bunbury.
- Only 3-hour drive from Perth allowing an easy weekend trip for city residents.

² <https://www.abc.net.au/news/2020-06-12/skywalk-opens-murchison-gorge-western-australia/12347962>

- Host to a range of popular events (music festivals, art exhibitions, rodeos and marathons) throughout the year, including the Country Music Festival, which attracts over 4000 people annually.
- Multiple other tourism offerings, including an award-winning museum, art gallery, the Carnaby Beetle and Butterfly collection, Boyup Brook Music Park and Harvey Dickson's Country Music and Rodeo Centre.

The Gloucester Tree, a giant karri tree in the Gloucester National Park in the Shire of Manjimup can be seen as a good comparison for the proposed Centennial Tower. Like Boyup Brook, Pemberton is not as developed as a key tourism spot like Kalbarri and has many of the same features as Boyup Brook in terms of natural beauty, trails, nature-based tourism and local attractions. At 58 metres in height, it is the world's second tallest fire-lookout tree, and visitors can climb up to a platform in its upper branches for views of the surrounding karri forest. According to the Department of Biodiversity, Conservation and Attraction's Parks and Visitor Services Coordinator, Donnelly District – Pemberton, in the 2018/19 financial year, a total of 143,000 people visited the Gloucester Tree tourist attraction. Pemberton is a similar distance from Perth as Boyup Brook and it is expected that the introduction of a tourist attraction that will be the catalyst for people to come to Boyup Brook could have a significant impact on visitor numbers, just as the Gloucester Tree has had to Pemberton.

A further example of how this type of asset is multi-use and popular amongst the community and tourists is the construction currently nearing completion of the "Jacob's Ladder of the North" in Whitfords Nodes Park in Hillarys. The focus of this staircase is weighted more toward exercise, which will also be a key use of the Centennial Tower. It will have 145 steps plus landings and be about 2.2m-wide. Like the proposed Centennial Tower, the 21m-high exercise stairway in Hillarys includes pathways, landscaping and lighting. Mayor Albert Jacob said the stairway would prove to be an asset for the City of Joondalup. "Attracting tourists to our City is a priority for Joondalup and is a very important contributor to our local economy,". The staircase was the idea of Harbour Rise Homeowners' Association and has been funded by the City, Lotterywest and Federal Government funding.

Over the past decade, the Shire of Boyup Brook has recognised the need to build the tourism offerings within the town in a way that they have not focussed on before. With its strong reliance on the agricultural industry, and established pattern of attracting tourists each year for the Country Music Festival, Boyup Brook has not invested as heavily in working to build tourism as it may have done. However, in recent years, the Shire has been rectifying this and has instigated a number of projects aimed at delivering the infrastructure needed to attract and cater for increased visitor numbers to the town.

Future plans include upgrading and developing the Flax Mill Caravan Park and building short-stay accommodation units in the centre of town to further address the current lack of tourist accommodation. The shire has recently approved the development for a retro car museum and display in the centre of town. In addition, the Co-op is working toward another proposed tourism offering in Boyup Brook, the Rhodes Ridley Museum. The museum will house the Rhodes Ridley as well as other machinery. When the Rhodes Ridley was commissioned in 1958, it was the largest truck in the southern hemisphere <https://rhodesridley.com.au/>. This museum will provide an additional tourism attraction and link in with the existing Pioneer Museum and proposed retro car display. This will be a privately developed and funded attraction. It is anticipated that this open shed museum will feature the truck and machinery, as well as provide a space to promote tourism

in the town. It will also provide toilets and even the option of overnight camping. The museum will be located along the Boyup Brook – Arthur Road in Dinninup about 30km from the Boyup Brook Town Site.

Boyup Brook is ideally placed to enable it to grow as a nature-based tourism location; a place to partake in the barefoot luxury, majestic landscapes and big skies of Tourism WA's *Our Story – The Spirit of Adventure* narrative. This project will further enable this growth by providing a centrepiece for the Shire's marketing; a centrepiece that offers incredible views over the majestic landscapes. The tower will be lit to enable visitors to enjoy at dawn, dusk and night-time to really experience the big skies Boyup Brook has to offer. It will be a place that encourages healthy recreation, fitness and adventure, with people running up the stairs, or going at their own pace to experience the adrenaline of climbing to such a height with the panorama of the Blackwood River and the beautiful natural landscape surrounding the town.

The purpose of this project is to be a catalyst to attract visitors to Boyup Brook. The tower will work with the other tourism offerings in the town and the projects currently being delivered by the Shire to provide a compelling attraction for visitors. The Shire of Boyup Brook is focused on being able to provide different attractions and events for visitors in which the Centennial Tower would be a centrepiece tourism icon. Increasing the number of attractions builds critical mass and widens the range of appeal for seniors, adults and children. This is magnified by having a flagship attraction, such as the Centennial Tower.³

2.2. State Government Funding Amount

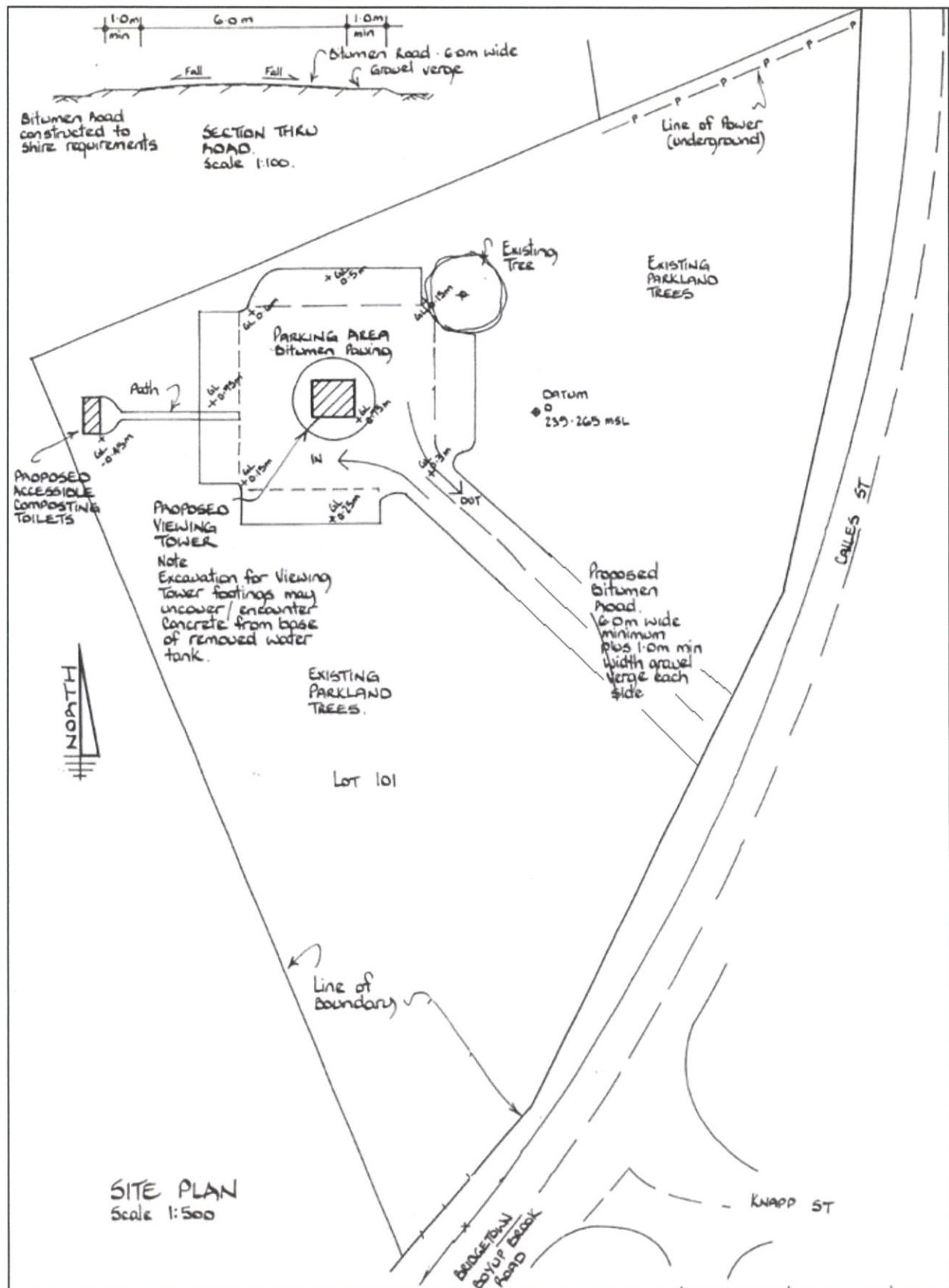
\$421,820 is being requested from the State Government.

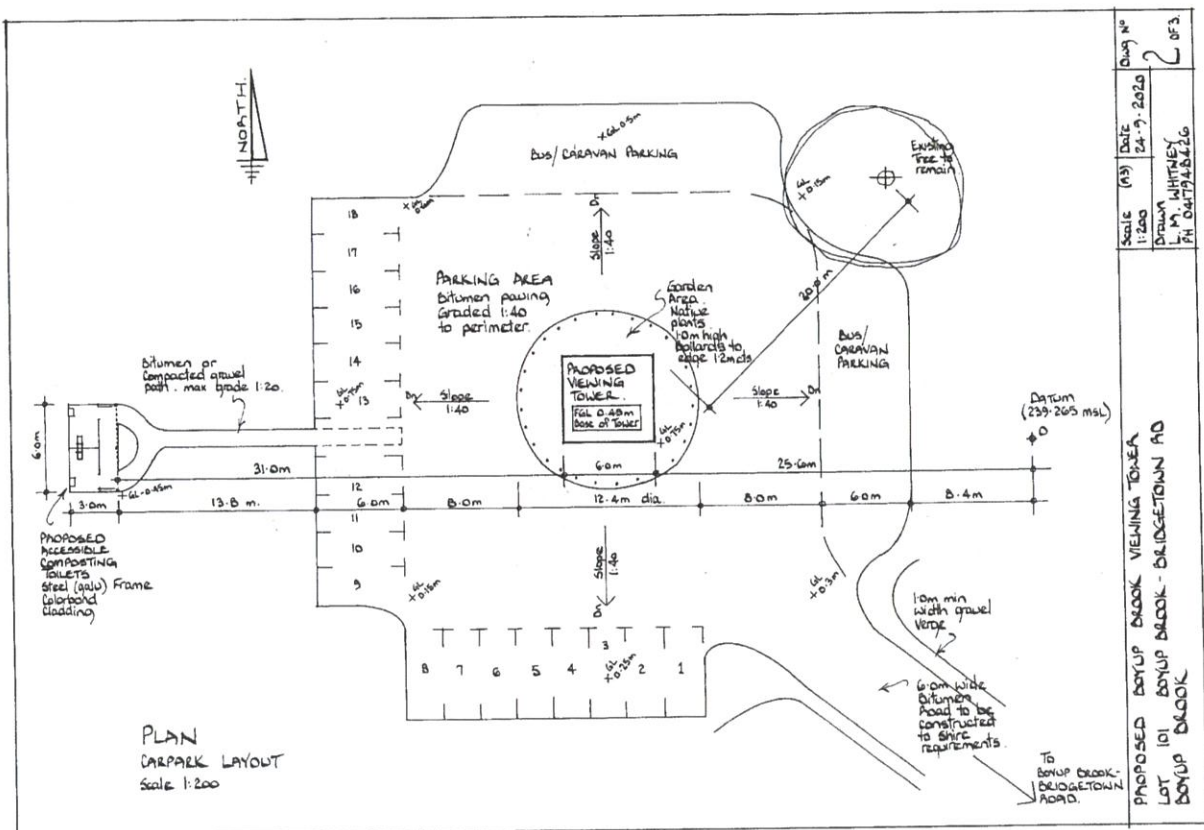
2.3. Project Description

The project is to construct a Centennial Viewing Tower 28m high, with viewing decks at 13m and at 26m on the highest point in town, enabling views in excess of 20 kilometres in every direction.

As shown in the below concept plan, the project will include the completion of a carpark, new roadway to access the tower and an accessible ablutions block, with landscaping around the tower base and wayfinding/interpretational signage. Whilst not part of this project, future plans include the construction of a gazebo to further encourage picnics and group gatherings at the site. Future plans also include developing a second carpark close to the road to enable visitors to park roadside and then use the existing walk trail to access the tower.

³ The Involvement of Business Improvement Areas in Tourism: An Exploratory Study of Ontario BIAs by Andrew Marc Giraldi. 2009





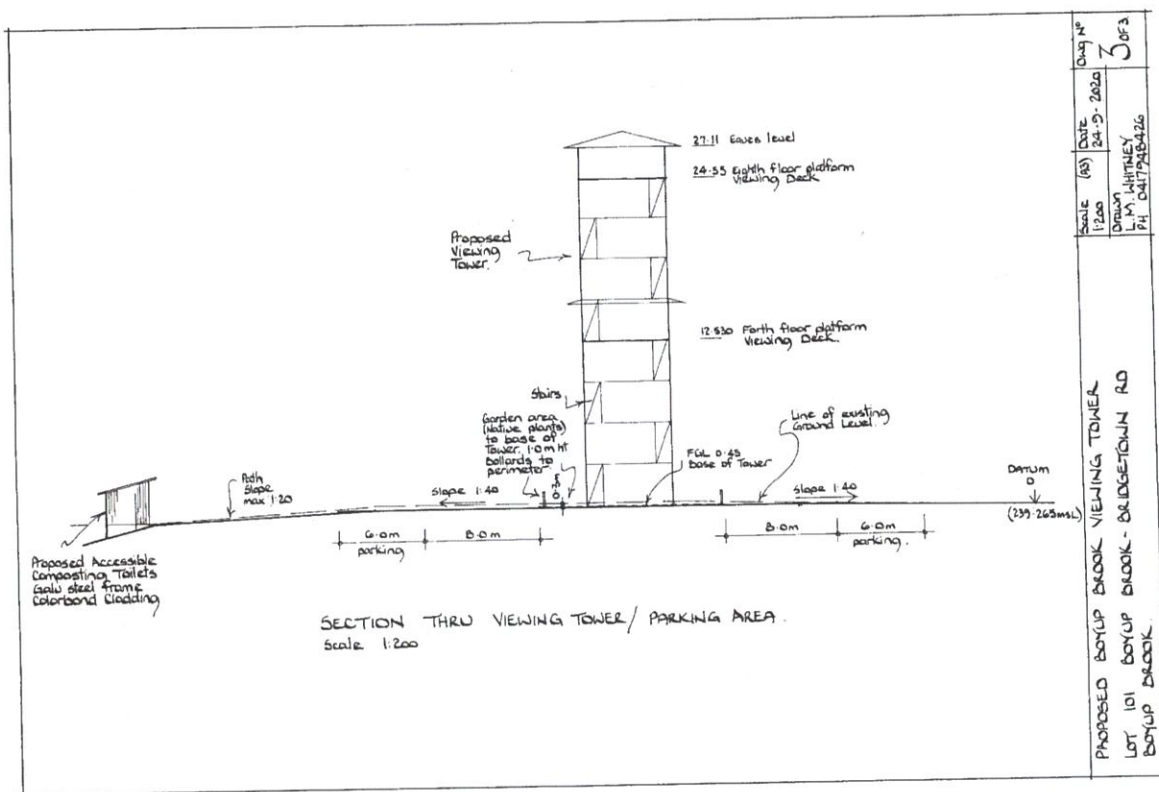


Figure 1 - Concept Plan

As can be seen in the concept plan, the project will include sufficient parking and turning space for larger vehicles, including caravans. As a tourism asset, it is important to include easy access for caravans as a lot of visitors to Boyup Brook are towing a van. The project will also include the erection of directional signage to the tower and signage on site containing tourism information and a directional link to the Bicentennial trail.

The tower itself will be constructed from galvanised steel; the same as that used in high voltage transmission towers to ensure minimum maintenance requirements. It will include two viewing decks and no-slip, high-visibility strips on the steps. The tower will also include lighting for both safety and aesthetic purposes.

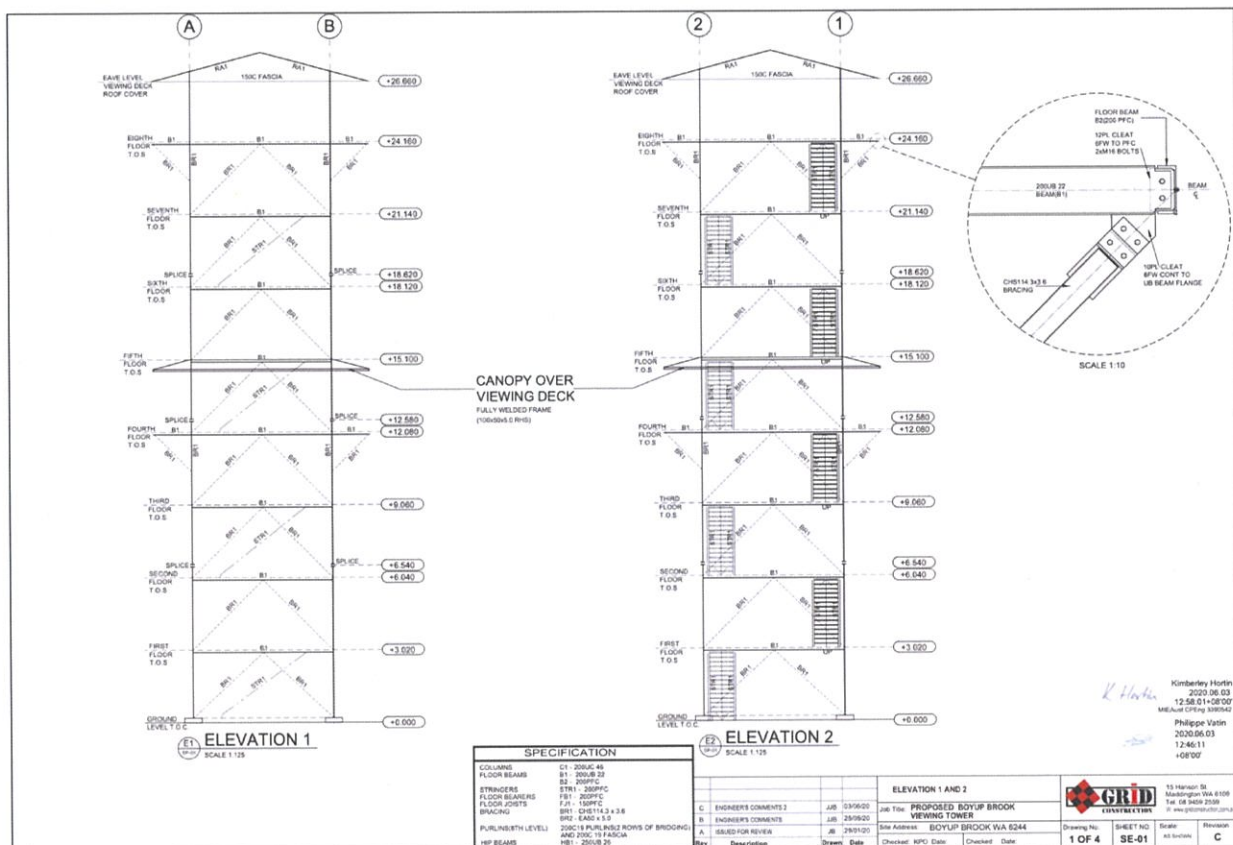


Figure 2 - Centennial Tower Structural Drawings

The location of the tower is the highest point in Boyup Brook on Jayes Road (now renamed Cailles Street) to maximise the views. The site (Reserve 24878) is 1.17ha in land area and was, until recently, vested with the Water Corporation for the purpose of 'Water Catchment'.

On 21 November 2019, Boyup Brook Shire Council agreed to apply for management of the site for the purpose of 'Tourism and Recreation' in order to construct the tower (See Section 2.4 Background for further details on the status of the land transfer). The Department of Planning, Lands and Heritage finalised the transfer of the management of the land to the Shire seek for the purposes of 'Tourism and Recreation'.

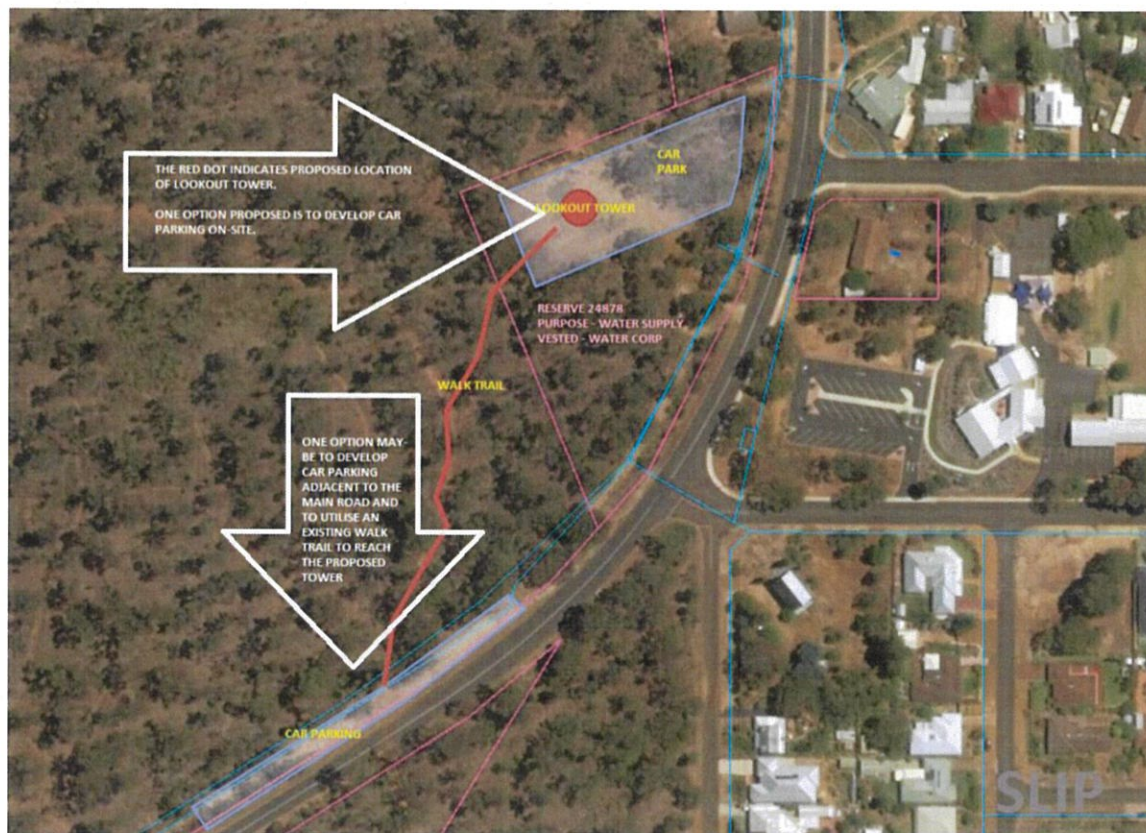


Figure 3 - Site Plan for Centennial Tower

2.4. Background

Boyup Brook is nestled in the Blackwood River Valley, between the South West and Albany Highways, just three-hours' drive away from Perth. With a population of around 1700, Boyup Brook is an ageing town with a median age of 49 years compared to the state average of 36. People aged 65 years and older make up 23.9% of the population, with higher percentages than the state average in all age group categories from the age of 45 years. The town also has a high number of young families but is subject to the movement away of young people, as seen in many regional towns. Boyup Brook has 12.9% of its population between the ages of 15 and 34 years, whereas the state average is 28%⁴.

However, the population has grown by about 19% from 1421 in 2006 to 1701 in 2016 according to Census data. Most of this growth though is amongst the elderly population. As of the 2016 Census, 40.5% of the population of the Shire of Boyup Brook were aged 55 and over, up from 32.5% in 2006 and 20.0% in 1996. It is therefore clear that the town needs to attract younger people, which is only possible through the creation of jobs.

According to REMPLAN data, there are a total of 654 jobs in Boyup Brook (0.9% of the total number of jobs in the South West region). Around 55% of jobs in Boyup Brook are in the

https://quickstats.censusdata.abs.gov.au/census_services/getproduct/census/2016/quickstat/LGA50770

Agriculture, Forestry and Fishing sector, with the other dominant industries being education (9%), health care (7%) and public administration (5%).⁵ Currently, only 14 jobs are supported by tourism in Boyup Brook (0.3% of the total amount of tourism jobs in the South West region). With the growing size and automation of farms, the number of jobs in agriculture are unlikely to grow. The Shire of Boyup Brook has therefore been increasingly focussed on how to maximise its natural assets to attract more tourists and visitor expenditure to the town, in order to create jobs in the tourism industry and attract a young workforce to the town.

The majority of visitors to the South West region are Western Australian domestic visitors. The South West Region 2018 Visitor Fact Sheet shows that, of the 2,581,400 visitors annually, 87% are from intrastate, with only 7% from interstate and 6% international. Boyup Brook therefore intends to target the domestic tourism market, which is particularly important during these COVID19 travel restrictions. Given its proximity, the town can offer Perth-based or Peel and South West-based visitors a weekend away surrounded by nature and the incredible scenery on offer. Boyup Brook's key markets can be expected to be 'grey nomads' travelling around the state and 'experience seekers' who are keen to partake in nature-based tourism experiences, as well as young families looking for a farm stay. All these key markets have demonstrated an interest in viewing towers such as the proposed Centennial Tower for the sight-seeing and fitness experiences they offer.

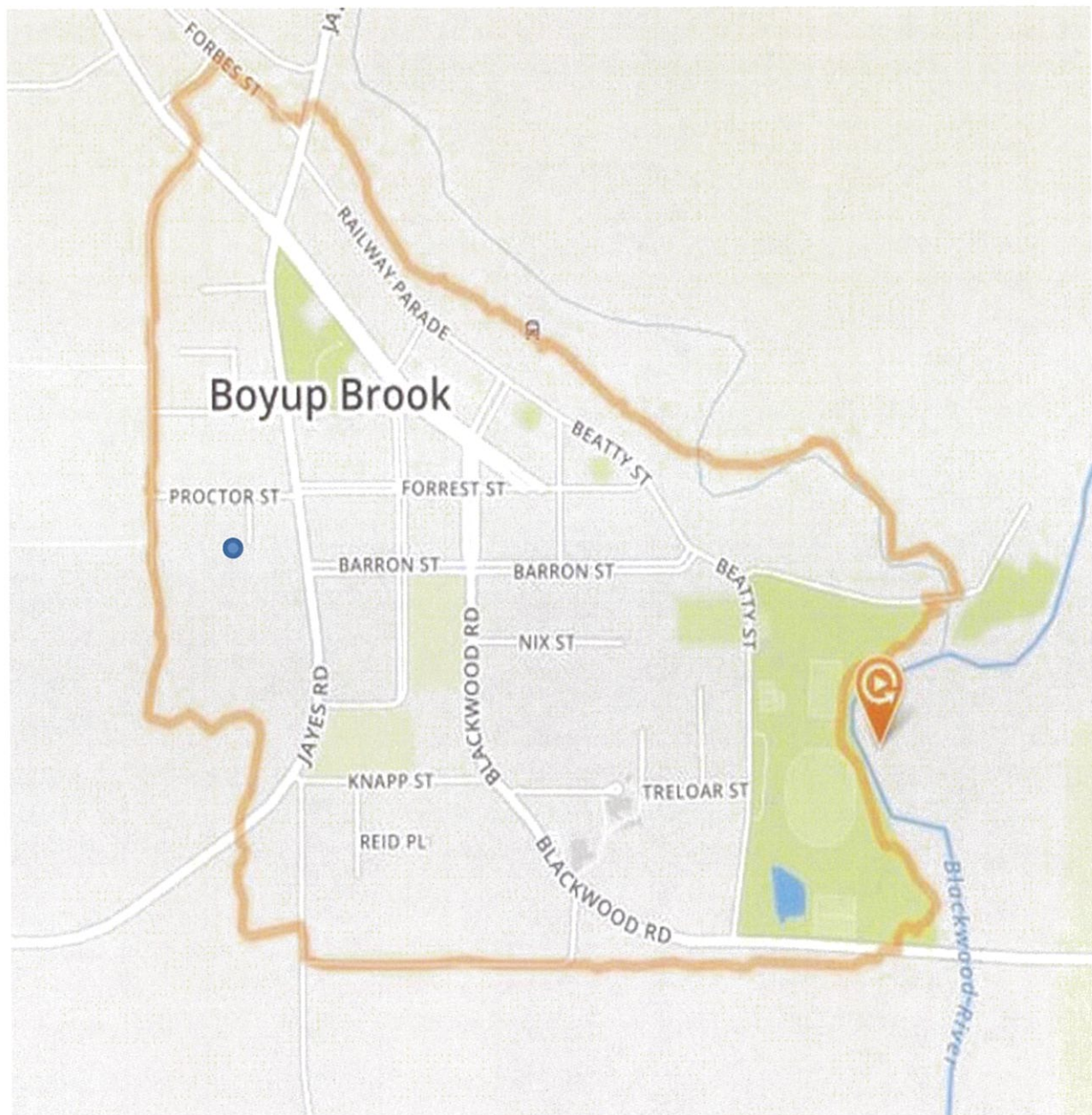
In line with Tourism WA's pillars of 'barefoot luxury' and 'majestic landscapes and big skies', this project will help Boyup Brook to target its key tourism markets by creating a centrepiece nature-based experience upon which to build its marketing of the town and its numerous, complementary tourism offerings.

The Boyup Brook Tourism Association has provided their support to this project, stating that many visitors seek information about walking trails and wildflowers. They advised that the tower will be located in an area where they often send people, due to the number of wildflowers there and the proximity to many of the walking trails, which are very popular with tourists. The location for the tower features on many of these trails, including the main tourist walking trail, Bicentennial Trail, which is a 6km walk through the prettiest parts of Boyup Brook and along the edge of the river.

The Bicentennial Trail passes through bush reserves abundant with wildflowers in season, along the banks of the Blackwood River and the Boyup Brook behind the railway station where a short detour can be made to the Boyup Brook Billabong picnic area. There are opportunities to picnic by the Blackwood River and seven sitting places provided along the route.

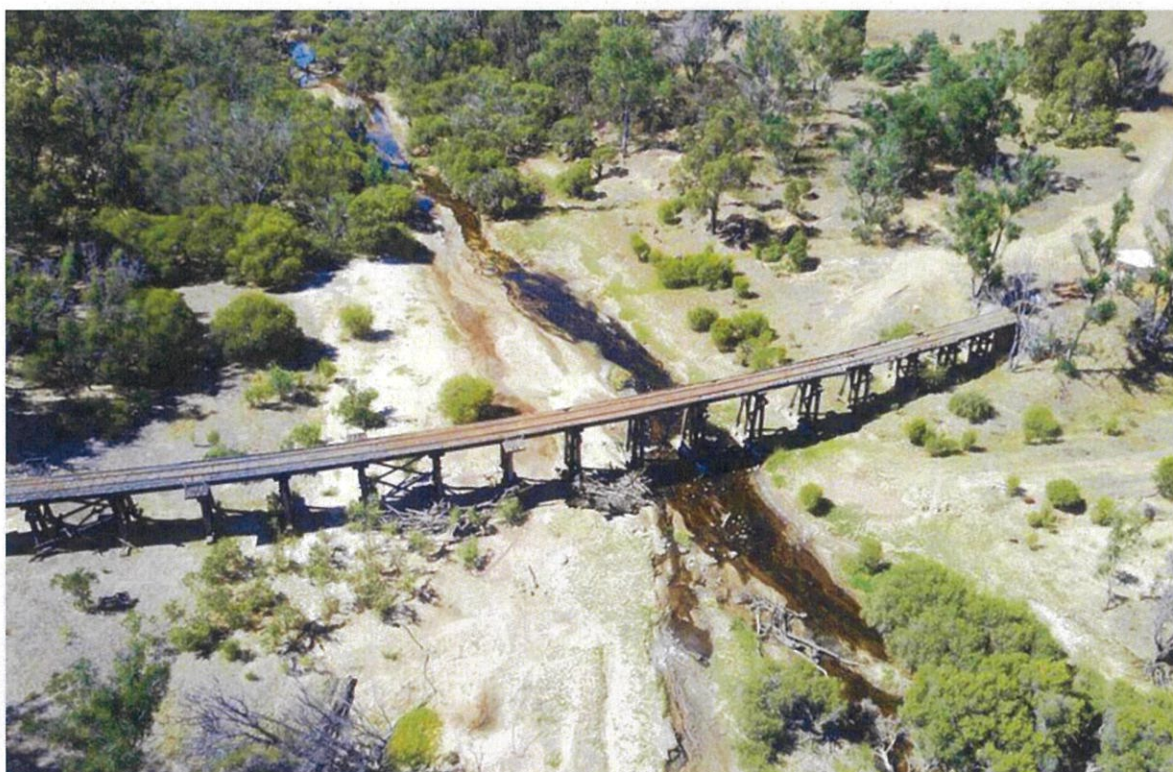
⁵

<https://app.remplan.com.au/rdasouthwest/economy/tourism/employment?state=0Mw9c4lvpAzHIWGDHrOjYySmpmzEtvIvHxNzHGhnh9psySgfnSg8BQHZ2y>



Bicentennial Trail, showing the proposed site of the tower at the blue dot.

The Skeleton Bridge trail, which is popular for walking, cycling and horse-riding, starts behind the old railway station and shares the path with the Bicentennial Walk Trail along the Brook until it reaches the Flax Mill precinct. As such, it also takes in the area where the tower will be erected. The trail offers gorgeous panoramic views of farmland and the River flood plain and leads to Skeleton Bridge, which opened in May 1912 and closed in June 1982. A gazebo provides shelter, detailed bridge information and a picnic table.



Skeleton Bridge. Photograph by Tara Reid.

As well as the wildflowers and trails, Boyup Brook has a calendar of events and other tourism offerings that the tower would complement to attract visitors. The Country Music Festival and Awards, which occurs in February each year, attracts over 4,500 visitors to Boyup Brook, with the Harvey Dickson Rodeo attracting around 1,000 visits annually. The town also hosts the Blackwood Marathon, an Easter tennis tournament and numerous horse-riding events through the year. The Shire intends to develop more events and use the tower as an impetus for 'kick-starting' tourism to Boyup Brook.

In preparation, the Shire has been working to address the key issue for any tourism strategy or marketing campaign in the town, which has been the lack of accommodation available. As such, they have been developing a caravan park plan and other short-stay accommodation projects, as detailed in *Section 2.1 Project Purpose*. These projects all form part of the strategic direction set by the Shire of Boyup Brook to focus on growing the tourism industry. The Centennial Tower is intended to be the flagship attraction that adds to the existing events and other tourism offerings and attracts people to visit the town.

Project Development

The Boyup Brook Cooperative (the Co-op) was established in 1919 and celebrated its centenary last year. It is one of the few cooperatives in Western Australia that has survived to reach 100 years, which the Co-op and the town agreed was worthy of a lasting memorial.

Currently, the Co-op provides agronomy services to its members, is an agent for WFI and a base for Landmark Fertilisers, as well as Landmark wool and sheep representatives. The

Co-op is run by a Board of local businesspeople and has continued to grow in strength, with revenue having increased by around \$5.2 million per year compared to 10 years ago.

Each year it returns a large percentage of its profit to its over 600 members as a trading bonus. It also supports the schools and the voluntary services of the district as well as a variety of sporting and other activities, all of which maintain the life and vitality of the Boyup Brook community. The Co-op partners with the Shire of Boyup Brook to fund a Mental Health Officer in the town and also on a number of economic development and community projects. The aim of the Co-op in supporting community organisations and partnering with the Shire is to retain the population and businesses in the town.

In preparing for its centenary celebrations, the Co-op Board decided they wanted to 'give something back' to the town. However, they did not want to erect a statue or a plaque but agreed that the project needed to be something that could be used and would assist in the economic development of the town; something to grow Boyup Brook for the next century. After much consideration, investigation into assets in other towns and discussion with the community, the Board agreed on a Centennial Tower; a viewing platform that could be used to take in the amazing scenery around Boyup Brook and could also be used for fitness and as a drawcard to the town.

The Co-op Board's President, Michael Wright, sent a drone up to the anticipated height of a viewing platform in the town and captured footage to demonstrate the views that would be available from the tower (see the Shire website for this footage). The Co-op Board approved progressing with the planning of the Centennial Tower project in October 2018. Mr Wright then took the concept to a Shire Council meeting and received in principal support. Discussions were then held with the local tourism association and museum association who all endorsed the idea. As a result, the Co-op engaged an industrial construction company to complete the engineering, design drawings and costings for the construction of the tower. These drawings were then presented to the Shire Council on 21st February 2019.

During this time the Shire had also been working to establish the optimal location of the tower. The Shire investigated the ability to construct the tower on the high point in the townsite, Lot 101 Jayes Road (now Cailles Street), a 1.17ha parcel of land vested with the Water Corporation for the purpose of 'Water Catchment'. In addition to being the high point in town, the site also overlooks the Boyup Townsite and Blackwood River and would be ideal for the construction of a viewing tower. The Shire sought comment from the Water Corporation and the Department of Planning, Lands and Heritage, on the idea of taking over management of the site, for the purpose of 'Tourism and Recreation'. The Water Corporation provided written confirmation that the site was no-longer needed for water catchment and advised they would be willing to relinquish management subject to the road reserve being widened so that water mains, presently inside the boundary of the reserve, are included in the road reserve and that all costs associated with the transfer of the reserve and widening of Jayes Rd would be met by the Shire of Boyup Brook. The Department of Planning, Lands and Heritage recommended that the Shire seek application to take on management of the site for 'Tourism and Recreation'.

As such, on 21 November 2019, the Shire Council resolved to apply for management of 101 Jayes Road – Reserve 24878 for the purpose 'Tourism and Recreation'. The Shire has since funded the costs of undertaking the survey to widen the road reserve. The Shire submitted an application to the Department of Planning, Lands and Heritage (DPLH). On 21 September 2020 the Shire received notification that the amendment of the purpose of the

land, the vesting of Reserve 24878 with the Shire of Boyup Brook and the widening of Jayes Road had been completed by DPLH, which finalises the transfer of the Reserve to the Shire for 'Tourism and Recreation'. The Shire will now submit a development application for the construction of the tower, which is expected to take around two months.

The Shire has also submitted a request to the Department of Biodiversity, Conservation and Attractions for an assessment by the Species and Communities Branch. The Branch will determine the impact on the known nearby population of threatened orchids (*Caladenia dorrienii*) and possibly cockatoos as well and indicate if a Section 40 Authorisation to take is required. This assessment is currently underway.

The Co-op Board has committed \$50,000 to the project and also managed to source a further \$50,000 from a private business. The Shire of Boyup Brook has also committed to provide \$50,000 from the Rylington Park profits and a further \$50,000 through the Shire budget. Rylington Park was a farm that was gifted to the Shire in the 1970s for agricultural education purposes. The Shire runs the park, which includes a shearing school, conducts agricultural research and is also run as a commercial farm. All profits are put toward community benefit projects.

In 2020, all South West local governments were asked to present any current projects that could be accelerated to assist in COVID19 recovery to Regional Development Australia. The Shire of Boyup Brook submitted eight projects that are currently being planned by the Shire, including the Centennial Tower project. RDA asked the combined CEOs of all South West Councils to vote for the most promising project and, out of the eight projects submitted, the CEOs and RDA all agreed that this Centennial Tower project was the most likely to deliver on its intended outcomes and deliver economic benefits to the town.

The project is now ready to commence, once all funding is secured. Following discussions with the South West Development Commission, the Shire of Boyup Brook was provided funding from the SWDC to prepare this business case for the project.

2.5. Policy and Strategic Framework

2.5.1. Alignment to The Department of Primary Industries and Regional Development's Strategic Intent (2018-21)

This project aligns to DPIRD's Strategic Intent as it aims to Grow the town of Boyup Brook through an innovative project to deliver a flagship tourist attraction for the town. In particular, it aligns to strategic priority number 4, Regional Opportunities.

As previously mentioned, the town of Boyup Brook has an ageing population and needs to attract younger people, which is only possible through the creation of jobs. With the economy of the town being heavily reliant on the agricultural industry and the growing size and automation of farms, the number of jobs in agriculture, and therefore Boyup Brook are unlikely to grow. The Shire of Boyup Brook has therefore been increasingly focussed on how to maximise its natural assets to attract more tourists and visitor expenditure to the town, in order to diversify the economy, create jobs in the tourism industry and attract a young workforce to the town.

This project will deliver a centrepiece tourism attraction to target Boyup Brook's key tourism target markets and work with its existing, assets, events and tourism offerings, as well as

current projects underway to increase short-stay accommodation, to increase visitors to the town. It will also provide an asset for the community that can be used as a picnic location, for fitness, akin to Jacob's Ladder, and as a place to take visiting friends and family.

The project has co-investment from the private industry, as well as the local government, will use regional suppliers wherever possible and is a growth project for Boyup Brook. The project is in clear alignment to "Capturing regional opportunities to drive economic growth, job creation, local capability and social amenity".

2.5.2. Alignment to Related Strategic Imperatives

WA State Government – Our Priorities: Sharing Prosperity

This project aligns strongly with the WA State Government's whole-of-government priorities of 'A Strong Economy' and 'Regional Prosperity'.

Under the Strong Economy priority area, the WA State Government has identified the target of an extra 150,000 jobs mid 2024. Under Regional Prosperity the target is to increase the number of employed persons in Regional WA by at least 30,000 by 2023-24. Whilst the Corona Virus pandemic will have an impact on these goals, this project will help the WA State Government to work towards a stronger economy by delivering jobs and economic growth in the South West region.

As detailed in *Section 2.9 Economic and Financial Analyses* the project will deliver 3FTE jobs during the construction phase and 1FTE job on an ongoing basis through tourism expenditure.

As part of the Strong Economy priority area, the State Government has prepared Diversify WA, which is Western Australia's Economic Development Framework. It provides a blueprint for collaboration between government, industry and the community, to unlock the State's economic potential. Diversify WA sets out a vision for a strong and diversified economy delivering secure, quality jobs through increased investment across a broad range of industries⁶.

Diversify WA matches Western Australia's competitive strengths to global trends, identifying six priority economic sectors as the keys to building a more resilient, sustainable and stronger economy. One of the identified six priority economic sectors is Tourism, Events and Creative Industries, which shows a clear alignment between this project and WA State Government's strategic objectives. This project will diversify the town's economy and drive tourism to Boyup Brook by enhancing the existing events and attractions through the creation of a flagship tourist attraction in the town.

Tourism WA - 'Western Australia Tourism – Our Story'

As stated on Tourism WA's website, "A strong tourism brand does incredible things for a destination. It elevates tourism experiences, inspires new tourism products, unleashes the collective power of individual tourism operators, instils pride and energy in locals, provides jobs and drives the economy." This project will deliver a centrepiece for the tourism brand of Boyup Brook as a nature-based tourism destination, with incredible scenery, the Blackwood River, walking trails, wildflowers and a variety of experiences and events on

⁶ <https://www.wa.gov.au/organisation/departments/departments-of-the-premier-and-cabinet/diversify-wa-economic-development-framework>

offer. It will complement existing offerings and current projects and enable a marketing campaign to attract visitors to the town.

Given its proximity, the town can offer Perth-based or Peel and South West-based visitors a weekend away surrounded by nature and the incredible scenery on offer. Boyup Brook's key markets can be expected to be 'grey nomads' travelling around the state and 'experience seekers' who are keen to partake in nature-based tourism experiences, as well as young families looking for a farm stay. All these key markets have demonstrated an interest in viewing towers such as the proposed Centennial Tower for the sight-seeing and fitness experiences they offer.

In line with Tourism WA's pillars of 'barefoot luxury' and 'majestic landscapes and big skies', this project will help Boyup Brook to target its key tourism markets by creating a centrepiece nature-based experience upon which to build its marketing of the town and its numerous, complementary tourism offerings.

South West Regional Blueprint

This project aligns with the South West Development Commission's regional priority of 'Investing in jobs and growth', as previously explained.

In relation to Boyup Brook, the South West Regional Blueprint notes the demographics of the town reflect limited opportunities for younger people. As previously discussed, this is one reason why the town needs to diversify its economy and create jobs in the tourism industry.

The blueprint also includes building iconic attractions in the area of nature-based tourism as an objective, which is in alignment with this project.

Bunbury-Wellington & Boyup Brook Regional Tourism Development Strategy 2015-2019

It is noted that this strategy is now out of date. However, no replacement strategy has yet been developed and the findings of the strategy still hold today. This regional tourism development strategy involved seven municipalities in South West Australia including the City of Bunbury and the Shires of Dardanup, Collie, Harvey, Capel, Donnybrook, Balingup and Boyup Brook.

Although focussed on Bunbury and Collie more so than Boyup Brook, the strategy did identify one of the main elements of the tourism strategy as 'Tourism Infrastructure', with "Increasing adventure-nature experiences"⁷ as a recommendation. This recommendation was based on an investigation into the increasing visitors to the region consisting mainly of daytrip visitors from surrounding rural areas and domestic overnight visitors, with around 90% coming from Perth and surrounds. This strategy confirms that there is the opportunity for Boyup Brook to diversify its economy through attracting visitors from Perth, Peel and the South West region through tourism infrastructure that enables an adventure-nature experience,

⁷

<http://www.bunbury.wa.gov.au/pdf/Council/Bunbury%20Wellington%20Boyup%20Brook%20Tourism%20Strategy.pdf>,
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2.6. Project Deliverables

This tourism asset will be a centrepiece in the town of Boyup Brook's tourism offerings to attract visitors to the town. It will complement the town's natural assets, existing events and tourism attractions and be the key element in a connectivity program that will tie together existing and new paths around the town. The Centennial Tower will work toward diversifying the town's economy, creating jobs in the tourism industry and retaining younger people in the town.

	Outputs	Performance Measure	Performance Measure method
1	A 28m high tower with viewing platforms at 26m and 13m is constructed to Australian standards.	Construction is completed to Australian standards by December 2021.	Certificate of Practical Completion Photographs
2	Landscaping, carpark, ablutions and road access surrounding the tower are constructed, as per concept plan.	Construction is completed to Australian standards by December 2021.	Certificate of Practical Completion Photographs

	Outcomes	Performance Measure	Performance Measure method	DPIRD Strategic Priorities
1	Increase in visitors to the town of Boyup Brook	Number of visitors to the town of Boyup Brook annually increase by 50%.	Tourism WA visitor statistics Occupancy rate of accommodation Number of visitors to the Visitor Centre	Regional Opportunities
2	Increase in jobs in the tourism	Number of jobs in tourism industry in Boyup Brook	FTE numbers within tourism-	Regional Opportunities

	Outcomes	Performance Measure	Performance Measure method	DPIRD Strategic Priorities
	industry in Boyup Brook	increases from 14 to 15.	related businesses in Boyup Brook. REMPPLAN data	
3	Flagship tourist attraction is created	Centennial Tower is used as a key attraction in tourism marketing campaigns for the town of Boyup Brook within the first 12 months after construction.	Marketing campaign media	Regional Opportunities
4	Increased community satisfaction	Community satisfaction with the town's social amenities increases	Community survey	Regional Opportunities

2.7. Stakeholder Engagement

Both the Shire of Boyup Brook and the Co-op consulted with numerous stakeholders in the development of this project. Consultation to date has included:

- The Boyup Brook Cooperative were the instigators of this project and have completed the majority of the planning. Their Board approved the project in October 2018.
- Shire Council meetings. The Council endorsed the project and the repurposing of the site for Tourism and Recreation purposes.
- Boyup Brook Tourist Association (BBTA) in 2018 and 2019. The Co-op spoke with BBTA about the project and the best location. The BBTA is very supportive of the proposal.
- Boyup Brook Pioneer's Museum. The Co-op spoke with management of the museum about the potential to attract more tourists. The museum management were very supportive.
- Water Corporation. The chosen site for the tower was vested with the Water Corporation for the purpose of 'Water Catchment'. The Shire sought comment from the Water Corporation on the idea of taking over management of the site, for the purpose of 'Tourism and Recreation'. The Water Corporation provided written confirmation that the site is no-longer needed for water catchment and that the Water Corporation. WaterCorp advised they are willing to relinquish management subject to the Jayes Rd road reserve being widened so that water mains presently inside the boundary of the reserve are included in the road reserve and that all costs associated with the transfer of the reserve and widening of Jayes Rd are to be met by the Shire of Boyup Brook.

- The Department of Planning, Lands and Heritage has recommended that the Shire seek application to take on management of the site for 'Tourism and Recreation'.
- All neighbours around the proposed site. The Co-op Board canvassed neighbours to determine if there would be any issues with houses or backyards being overlooked by the tower. The neighbours would either be unaffected or were very supportive of the project. The site sits on the edge of the railway dam reserve, adjacent to a church but there are no other residences on that side of the road. Additional consultation will occur as part of the Development Approval application process.
- Boyup Brook community via Shire community newsletters and through informal discussions held by Co-op Board members.
- South West Development Commission. The SWDC are very supportive of the project and have provided the funds necessary for this business case to be prepared.
- Regional Development Australia and all South West local government CEOs. In 2020, all South West local governments were asked to present any current projects that could be accelerated to assist in COVID19 recovery to Regional Development Australia. As part of this process, the Centennial Tower project was identified as being best positioned to deliver on its intended outcomes and support economic benefits to the town.

2.8. Critical Assumptions

A number of critical assumptions have been made in the development of this Business Case:

- All planning approvals for the project are granted;
- Funding for the project is secured from all parties;
- Tourism will continue to be an important economic driver for WA through domestic visitors during COVID-19 restrictions and through all visitor types post COVID-19 restrictions;
- Domestic visitors will continue to travel around WA during the COVID-19 travel restrictions;
- The Shire of Boyup Brook, Boyup Brook Tourist Association and Visitors Centre, Australia's South West and other tourist organisations will market the tower as a key attraction for Boyup Brook;
- The community and visitors will utilise the facility at the predicted levels;
- The Shire of Boyup Brook will continue to plan and deliver projects to increase the visitor capacity of the town, including short-stay accommodation projects;

These critical assumptions have been based on an assessment of trends in WA, as well as the Shire's in-depth knowledge of the area/project and consultation with other organisations. The Shire believes these critical assumptions to be valid.

2.9. Economic and Financial Analyses

The intention of this project is to increase the economic value of the tourism industry in Boyup Brook. It will work to complement the tourism accommodation projects the Shire is implementing and attract visitors to the town. As such, the project will result in increased visitor expenditure annually and will have a significant impact on the town and the region's economy.

In the 2017/18 year, Boyup Brook Tourism Association Inc recorded 5645 visitors to Boyup Brook. Whilst it is expected that the actual number of visitors would be higher as the Association would not be able to capture all visitors to the town, using this figure as a base for the economic and financial analysis would provide a conservative analysis.

Daytrip visitors are the largest visitor segment to the Bunbury Wellington and Boyup Brook region, representing around 75% of visitors annually⁸. As such, Regional Development Australia – South West used the assumption that the Centennial Tower project will result in an increase in annual visitors to Boyup Brook of 50% and that these would all be day-trippers. Whilst it is likely that some of these attracted visitors would be overnight visitors, assuming they are all day-trippers results in a more conservative economic assessment.

Given Boyup Brook has not traditionally targeted tourists, has previously been constrained by lack of suitable accommodation and that this will be the first flagship tourism infrastructure in the town, an increase of 50% on the recorded visitors is considered reasonable. When considering the base number of visitors is likely to be conservatively low and there are likely to be some overnight visitors who spend more, this estimate is considered to be a conservative estimate of the economic impact of this project.

RDA-South West's report (see Attachment A Tourism Impact Summary) indicates that the project is expected to result in increased visitor expenditure in Boyup Brook of \$341,583 annually, based on an average expenditure per day visitor of \$121 and an increase of 2,823 visitors. The total direct effect of this increased visitor expenditure is estimated to be:

- \$435,839 annually in increased economic output
- 1FTE ongoing job created
- Increase in Gross Regional Product of \$204,192

From this direct expansion in the economy, flow-on supply-chain effects in terms of local purchases of goods and services are anticipated, and it is estimated that these indirect impacts would result in a further increase to output valued at \$53,272, an increase of \$14,123 paid in wages and salaries, and a gain of \$25,797 in terms of value-added.

In addition, there will be benefits delivered during the construction of the project. The Centennial Tower will be made using all Australian-made steel that is available in Western Australia. The Shire's Buy Local policy ensures that as much of the project funding is spent locally as possible. It is estimated that:

- 12 people or around 5FTE will be required to manufacture the steel in Western Australia. (1 x engineer, 1 x detail drafts person, 1 x drafts person, 6 x structural fabricators, 3 x surface treatment personnel)
- Structure installation will require a total of 9FTE for a period of 4 weeks.
- At a minimum, the following components of the project have been identified as being able to be completed by local suppliers, pending appropriate tender/quote processes:
 - Transport to site
 - Bulk earthworks
 - Site works
 - Site waste removal
 - Machine hire and hire equipment
 - Concrete supply and installation
 - Electrical and lighting supply and installation

⁸ BUNBURY-WELLINGTON & BOYUP BROOK REGIONAL TOURISM DEVELOPMENT STRATEGY 2015-2019, page i

- Plumbing supply and materials
- Road and carpark construction
- Landscaping
- Food and accommodation for construction workers not from Boyup Brook will also be required and will bring in a benefit to the local hospitality industry during the project construction.

RDA South West also provided a report detailing the economic impact of the construction phase (see Attachment B Boyup Brook Viewing Tower - Construction Phase Economic Analysis). This report found that WA would benefit during construction by:

- A total increase in output of \$1.495million
- 3 additional FTE jobs
- Total value-add of \$514,800

Of these economic impacts, a significant amount would remain in the South West region:

- A total increase in output of \$1.240million
- 2 additional FTE jobs
- Total value-add of \$401,500

Based on a total project cost of \$629,820, it can easily be seen that the economic benefits to Boyup Brook will far outweigh the cost of the project within the first two years.

2.10. Assessment of Options

In developing this project, the below options were considered:

Option 1 – Do Nothing

Under this option, the Shire of Boyup Brook would not have a flagship attraction added to the town to be able to be the centrepiece of a tourism marketing campaign. There would be no additional tourist attraction or social amenity to complement existing tourism offerings and capitalise on the current interest Western Australians have to travel around the state and 'Wander Out Yonder'. The opportunity to capture the domestic tourist market while interstate and international travel is restricted would be lost.

Whilst the Shire will continue to work on expanding the tourism industry in Boyup Brook as a necessary economic development activity, the lack of this key tourist attraction would impede the success of these actions. As a result, the jobs creation and economic benefits of this project, as well as the increased social amenity for the town would not be realised.

Option 2 – Alternative Centennial Celebration

The impetus for this project was to celebrate the centennial of the Boyup Brook Cooperative. A number of alternatives were considered before a viewing tower was agreed upon. These alternatives included:

- A celebration event
- Statue
- Plaque
- Painting/mural

- Partnering with the Shire on a short-term accommodation project or an aged care accommodation project

These options were rejected after discussions with the Board and community for the following reasons:

- It was agreed that the funds set aside for the centennial celebration should deliver a lasting memorial, rather than a short-term event.
- The Board and community decided the project should be something that can be used by the community and visitors and benefit the economy of the town. It was agreed that a statue, plaque or painting would not achieve this desired outcome.
- The Co-op is still considering partnering with the Shire on both short-term accommodation and aged care accommodation projects. However, it was considered that these types of projects are not suitable to be a centennial memorial. The Board preferred to put the money toward something that would drive people to the town, rather than simply meet the basic needs of people who do come or are living in the town.

As such, the Board undertook investigations into key attractions in other towns that could be considered for Boyup Brook, finding a variety of eye-catching playgrounds and buildings, as well as viewing towers. The viewing tower option was progressed as being relatively inexpensive in comparison to a building or regional playground. The Board and community considered the cost in relation to the size of the population and believe that the viewing tower option provides a key attraction to drive tourists to the town, without overcapitalising on a small, regional town.

Option 3 – Centennial Tower

This is the preferred option and the subject of this business case, as described in *Section 2.3 Project Description*. The project will deliver numerous benefits to the town, including increase visitor expenditure and jobs creation in the tourism industry. It will be a centrepiece that ties together the other tourism offerings in the town and is the catalyst to drive domestic tourists to Boyup Brook. The total cost of this option is \$629,820.

Option 4 – Alternate construction method – Centennial Tower

In designing the tower, the Co-op and Shire considered the best method for the construction that would extend the lifetime of the asset and minimise the ongoing maintenance costs. Cor-ten steel was considered but its availability is limited to flat sheets and it is only available from the Eastern States. Standard structural steel is available to purchase locally in WA, however, would require more maintenance than Cor-ten, if the tower was constructed from standard weathering steel and painted.

As such, the decision was made to use galvanised standard steel as the most economical and low maintenance option. The below information provides a comparison between using galvanised standard steel versus traditional weathering standard steel. Galvanised steel is available from WA suppliers, comes in more flexible options than Cor-ten and will require very little maintenance.

Hot-Dip Galvanized Steel vs. Weathering Steel

Hot-Dip Galvanized Steel	Performance & Condition		Weathering Steel
	Unaffected by weathering	Fatigue Life	Reduced by weathering
Protects substrate steel from corrosion	Constant Wetting	Corrodes the same as unprotected carbon steel	
Provides excellent corrosion protection	Faying Surfaces	Corrodes the same as unprotected carbon steel	
Prepare via sweep blast or solvent cleaning	Painting	Expensive preparation and excessive paint absorption	
Protected inside and out	Tubular Shapes	Traps moisture inside, resulting in increased corrosion rate	
Visual and/or magnetic gauge	Inspection	Can't distinguish patina rust from loose corrosion products of accelerated corrosion	
Easily estimated for most environments	Corrosion Rate	Unknown	
Good protection of substrate steel	Road Salt Effect	Accelerated corrosion/loss of mass	
No visible corrosion products	Appearance Problems	Stains concrete	
90' long x 6' wide (approx.)	Size Limitations	None	
Environmental Exposure			
Good corrosion protection	Sea Coast	Poor corrosion protection, chlorides cause pitting	
Good corrosion protection	Chemical (Airborne)	Poor corrosion protection, accelerated patina consumption	
Excellent corrosion protection	Vegetation	Moisture may accelerate corrosion, especially on faying surfaces, enough to exert excessive force on bolted connections	
Widely-used, no arcing	Electrical Industry	Corrosion products cause arcing	
Excellent corrosion protection	High-humidity/Fog	Poor corrosion protection	

Hot-dip galvanized steel is produced by dipping bare steel in a bath of molten zinc metal. A protective coating is formed by a metallurgical reaction between iron and zinc, providing both a barrier and cathodic protection that protects steel from corrosion.



HDG steel electrical distribution pole



No corrosion products

Weathering steel is a corrosion-resistant steel that initially corrodes. The presence of corrosion products then limits any further oxidation of the metal.



Weathering steel electrical distribution pole



Significant corrosion products

American Galvanizers Association

Phone: 720-554-0900

Fax: 720-554-0909

www.galvanizeit.org

aga@galvanizeit.org

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As such, the preferred option, at a total cost of \$629,820 is to construct a Centennial Viewing Tower, Option 3.

2.11. Funding Strategy

The Co-op Board has committed \$50,000 to the project and also managed to source a further \$50,000 from a private business, as well as \$8,000 worth of transport in-kind. The Shire of Boyup Brook has also committed to provide \$100,000. As such, \$200,000 in funding, as well as in-kind contributions have been secured for this project. The remaining \$421,820 is being requested from State Government through this business case.

2.11.1. Total Budget

The total cost of the project is \$629,820, of which \$421,820 is being requested from the State Government.

⁹ Provided by GRID Construction, from American Galvanizers Association

Item of Expenditure	Budget (\$)	Source of Funds	Quality of Estimates	Has the Funding been Secured?
Transport of structure to site	\$8,000	Rhodes Pastoral (In-kind)		Yes. See attached email confirmation – Attachment C
Surveying	\$3,022	Shire of Boyup Brook	See quote attached from Survey South – Attachment D Quotes	Yes
Engineering	\$2,450	Shire of Boyup Brook	See quote from Strutterre attached. Attachment D Quotes	Yes
Footing excavation	\$15,000	Co-op Board	See attached quote from Blackwood Plant Hire. Attachment D Quotes	Yes
Concrete	\$34,680	Shire of Boyup Brook	See quote from Boyup Brook Concrete and Earthmoving. Attachment D Quotes	Yes
Road and carpark construction	\$67,210	State Government - \$14,562 Private Business - \$50,000 Co-op Board - \$2,648	See attached quote from Blackwood Plant Hire. Attachment D Quotes	State Government funding is subject of this business case. Remaining funds are secured
Planning and licensing fees	\$2,200	Co-op Board	See GRID quote attached. Attachment D Quotes	Yes
Electrical and Lighting	\$20,000	Co-op Board	Based on verbal quote from local electrician Based on verbal quotes from local contractors -	Yes
Landscaping, pathways	\$12,000	Co-op Board - \$10,152 Shire of Boyup Brook - \$1,848	Blackwood plant hire to do landscaping \$6000 and Cam Atherton pathways \$6000	Yes
Construction of tower	\$374,800	State Government	See attached quote from GRID. Attachment D Quotes	Subject of this business case
Toilets	\$28,622	State Government	Quote for toilet received. Verbal	Subject of this

Item of Expenditure	Budget (\$)	Source of Funds	Quality of Estimates	Has the Funding been Secured?
			advise that septic and installation would cost an \$10,000	business case
Signage	\$8,000	Shire of Boyup Brook		Yes
Water and Power connection	\$3,836	State Government		Subject of this business case
Contingency	\$50,000	Shire of Boyup Brook		Yes
Total Budget	\$629,820			

2.11.2. State Government Funding Amount

Item of Expenditure	2020/2021 \$	2021/2022 \$	Total 2020 to 2022 \$
Construction of tower	\$300,000	\$74,800	\$374,800
Toilets	\$20,000	\$8,622	\$28,622
Water and Power connection	-	\$3,836	\$3,836
Road and carpark construction	-	\$14,562	\$14,562
Total	\$320,000	\$101,820	\$421,820

2.11.3. Sustainability and Ongoing Viability

The tower will be a Shire-owned asset and will be added to the Shire's asset register. It will not be staffed and its construction method has ensured that very little maintenance will be required. Whilst the tower will not generate income directly, as no fee will be charged for its use, it will result in increased visitor expenditure in the town and is therefore considered an economic asset to the town. As such, the Shire of Boyup Brook commits to fund the minimal ongoing maintenance costs for the life of the asset.

The tower structure itself will require no maintenance as the galvanised steel is the same as that used in high voltage transmission towers. However, the two viewing deck panels will need to be repainted every 5 years, at an expected cost of \$3,000. The no-slip, high-visibility strips on the steps will also need to be replaced every 5 years, at an estimated cost of \$1,200. Electricity and water costs are estimated at around \$1,000 per year.

As such, the total expected cost of maintenance/repairs over the first 10 years of the structure is around \$18,400 or \$1,840 per year. The Shire of Boyup Brook is easily able to fund these ongoing costs.

2.12. Project Timeframe and Key Milestones

Main Activities (Milestones)	Milestone Date	Responsibility
Management order transferred	21 September 2020	Department of Planning
Department of Biodiversity, Conservation and Attractions approval	31 December 2020	Department of Biodiversity, Conservation and Attractions
Planning approval	31 December 2020	Shire
Funding secured	31 January 2021	State Government/Shire
Tender process complete and all contractors engaged	30 April 2021	Project Manager
Tower fabricated and installed	31 August 2021	Project Manager
Ablutions block completed	30 September 2021	Project Manager
Parking and paths completed	15 October 2021	Project Manager
Landscaping and signage complete	30 November 2021	Project Manager
Practical completion	31 December 2021	Project Manager

2.13. Risk Analysis

The below risk matrix has been used to assess the high-level risks associated with this project and the ongoing use of the Centennial Tower. The Project Manager is responsible for ensuring the implementation of all identified mitigations, the monitoring of all risks and keeping a Risk Register to record all ongoing and newly identified risks and their status.

	CONSEQUENCE				
LIKELIHOOD	Insignificant (1)	Minor (2)	Moderate (3)	Major (4)	Extreme (5)
Rare (1)	Low	Low	Low	Low	Low
Unlikely (2)	Low	Low	Low	Medium	Medium
Possible (3)	Low	Low	Medium	Medium	Medium
Likely (4)	Low	Medium	Medium	High	High
Almost certain (5)	Low	Medium	Medium	High	Extreme

Risk	Likelihood	Consequence	Risk Score	Mitigation
All funding not secured	Possible	Extreme	Medium	<ul style="list-style-type: none"> Complete project business case to enable other funding applications to be made and investment sought. Maintain open communication with funding bodies. Project will not be able to proceed with all intended benefits if funding is not sourced.
Cost overruns	Possible	Moderate	Medium	<ul style="list-style-type: none"> A formal quote has been used as the basis for the cost estimate for the major project component; the tower. Shire to consider additional in-kind contribution to deliver some of the work. Contingency allowance in place Ensure Tender Contract is comprehensive Investigate construction cost savings Seek additional funding from Council, community donations or other sponsorship Investigate options to reduce scope or delay some landscaping/pathways without affecting benefits.
Construction contractor discovers adverse site conditions	Unlikely	Major	Medium	<ul style="list-style-type: none"> Contingency allowance in place Ensure Tender Contract is comprehensive A geotechnical investigation will be undertaken prior to the commencement of the construction Seek in-kind contributions from the community to complete the hard digging Seek additional funding from Council, community donations or other sponsorship.

Risk	Likelihood	Consequence	Risk Score	Mitigation
Environmental issues e.g. flora and fauna	Rare	Major	Low	<ul style="list-style-type: none"> The site is currently cleared. Some recent tree and shrub planting may be affected by the build. Where possible this will be retained. A landscape plan will be developed during detailed design stage.
Significant delays due to weather	Possible	Minor	Low	<ul style="list-style-type: none"> Ensure sufficient contingency in construction schedule Do not schedule works during winter period, or allow increased time for completion over winter Investigate options to increase trades to accommodate weather Ensure all insurances are kept up to date.
Builder bankruptcy	Unlikely	Major	Medium	<ul style="list-style-type: none"> Obtain bank guarantees from builder Conduct due diligence on financial status of builder prior to contract award Ensure all insurances are kept up to date.
Quality of work is unacceptable	Unlikely	Moderate	Low	<ul style="list-style-type: none"> Ensure Tender Contract is comprehensive and clearly details expectations Complete reference and due diligence checks prior to contract award Project Manager regularly completing quality control inspections Ensure bank guarantees and insurances are in place.
Contractors not adhering to safety standards	Unlikely	Major	Medium	<ul style="list-style-type: none"> Ensure OSH guidelines are in place Complete reference and due diligence checks prior to contract award

Risk	Likelihood	Consequence	Risk Score	Mitigation
				<ul style="list-style-type: none"> Project Manager regularly completing inspections Project Manager to maintain and update Risk Register Complete site risk assessments/inspect contractors risk assessment records Ensure contract specifies default notice processes.
Public liability matters (e.g. accident)	Unlikely	Moderate	Low	<ul style="list-style-type: none"> Ensure all insurances are kept up to date Ensure OSH practices are followed Ensure appropriate barrier fencing and signs are erected at all times during construction Ensure continued communication with public Ensure sufficient lighting and signage after project completion.
Site security issues/ vandalism/ protests	Unlikely	Minor	Low	<ul style="list-style-type: none"> Ensure necessary site security is required of contractor and in place Ensure insurances are maintained by contractor Ensure continued, open communication with public, as has been the case in the development of the project.
Effect of construction work on surrounding neighbours	Likely	Minor	Medium	<ul style="list-style-type: none"> Schedule construction works to minimise impact after hours Ongoing communication with all neighbours and community Sufficient signage and traffic management required in construction contract.
Use of completed tower is not as high as expected	Unlikely	Moderate	Low	<ul style="list-style-type: none"> Develop a well-resourced marketing program to advertise the tower to domestic visitors

Risk	Likelihood	Consequence	Risk Score	Mitigation
				<ul style="list-style-type: none"> Consider engaging with Tourism WA to improve the marketing plan and campaign Consult with Tourism WA for ideas to increase visitation/bookings Council to consider sponsoring events at the tower to generate awareness of the asset, such as a race or a long-table lunch.
COVID19 related travel restrictions impact on interstate and international visitor numbers	Unlikely	Moderate	Low	<ul style="list-style-type: none"> Key target markets are domestic visitors who are expected to travel intrastate more during this time Work with Tourism WA and local tourism groups like BBTA to target the domestic markets until markets can be expanded.
Natural disaster	Rare	Extreme	Low	<ul style="list-style-type: none"> Ensure adequate insurances are in place.
Maintenance and operational cost of facility is higher than expected	Unlikely	Minor	Low	<ul style="list-style-type: none"> Add asset to Shire's Asset Register Ensure accurate costings during detailed design phase Investigate options to reduce cost of maintenance Increase Council commitment to maintenance costs or seek a commitment from the Co-op to fund the shortfall.

2.14. Local Content

The Shire of Boyup Brook ensures all projects it delivers offer full, fair and reasonable opportunities to regional businesses through its Purchasing Policy F.03 and Regional Price Preference Policy F.13. The objective of the Regional Price Preference policy is:

“To promote local business partnerships within the Shire of Boyup Brook by recognising that the overheads of regional (local) suppliers (i.e. those suppliers operating a business continuously for 6 months or more out of premises located in the district of Boyup Brook) might be higher than some non-regional suppliers.”

The policy states that the Shire of Boyup Brook will encourage local suppliers to do business with Council through the provision of a regional price preference advantage in conjunction with standard tender/quotation considerations. This policy applies to all Shire tenders and quotations above \$5,000.

“A preference will be given to a regional tenderer/respondent by assessing their tender/quotation as if the price bids were reduced by:

- a) 10% (up to a maximum price reduction of \$50,000 (excluding GST) for goods or services;
- b) b) 5% (up to a maximum price reduction of \$50,000 (excluding GST) for construction (building) services; or
- c) 10% (up to a maximum price reduction of \$500,000 (excluding GST) for goods or services (including construction building services) if tenders/quotations are being sought for the first time for goods or services currently undertaken by Council.”¹⁰

The Centennial Tower will be made using all Australian-made steel that is available in Western Australia. At a minimum, the following components of the project have been identified as being able to be completed by local suppliers, pending appropriate tender/quote processes:

- Transport to site
- Bulk earthworks
- Site works
- Site waste removal
- Machine hire and hire equipment
- Accommodation for builder
- Concrete supply and installation
- Electrical and lighting supply and installation
- Plumbing supply and materials
- Road and carpark construction
- Landscaping

RDA South West provided a report detailing the economic impact of the construction phase (see Attachment B Boyup Brook Viewing Tower - Construction Phase Economic Analysis). This report found that a significant amount of the economic benefits would remain in the South West region, totalling:

- A total increase in output of \$1.240million
- 2 additional FTE jobs
- Total value-add of \$401,500.

¹⁰ <https://www.boyupbrook.wa.gov.au/documents/627/policy-manual-2020>

2.15. Aboriginal Participation

Aboriginal and/or Torres Strait Islander people made up 1.2% of the Boyup Brook population, or around 19 people in total. The median weekly household income for Aboriginal people in Boyup Brook is \$1,312 compared to \$1,092 for the Boyup Brook community as a whole, which indicates a healthy involvement in the local economy.

This project will benefit the Boyup Brook community as a whole by adding social amenity that can be used for fitness and recreation, as well as bringing visitor expenditure to the town. Currently, it is not believed that any Aboriginal person in Boyup Brook is seeking employment, however, this project will be a building block to further the tourism industry and create future jobs for Boyup Brook locals.

2.16. State Funded Infrastructure and Apprenticeship Participation

The policy does not apply to this project.

3. IMPLEMENTATION STRATEGY

3.1. Communication Plan

Section 2.7 Stakeholder Engagement and Consultation details the communications undertaken in the development of the project to date.

All future project communications and engagement undertaken by the Shire of Boyup Brook will be governed by the below Communications and Engagement Plan. Identified key stakeholders for the project include:

Engagement purpose	Level of involvement	Stakeholders	Engagement outcome
Involve	Decision makers	<ul style="list-style-type: none"> Shire of Boyup Brook Councillors Boyup Brook Cooperative Board 	Informed decisions based on achieving best value outcome to agreed budget.
Involve	Affected	Infrastructure user groups: <ul style="list-style-type: none"> Boyup Brook Tourist Association and Visitors Centre 	Community champions with whom there are effective relationships that provide informed feedback to achieve optimal use of infrastructure and broad community support.
Consult	Perceived stake	<ul style="list-style-type: none"> Boyup Brook community members 	Informed advocates with whom there are effective relationships to

Engagement purpose	Level of involvement	Stakeholders	Engagement outcome
			achieve optimal use of infrastructure, and broader community support.
Involve	Affected	<ul style="list-style-type: none"> • Neighbours and businesses located near the site 	Informed about the project and how it affects them.
Consult	Influencers	<ul style="list-style-type: none"> • South West Development Commission (SWDC) • Australia's South West • Regional Development Australia (RDA) 	Working together to successfully deliver the project, achieving forecast outcomes.
Inform	Perceived stake	<ul style="list-style-type: none"> • Chamber of Commerce • Local hotels, restaurants, bars, and other tourism-related businesses. 	Understand the business opportunities the tower provides and are engaged in supporting the outcomes forecast in the Business Case.
Inform	Influencers	<ul style="list-style-type: none"> • Local, State-based and specialist media outlets / journalists • Funding Bodies (Federal and State Government) 	Informed advocates Political champions Funding contributors Public conscious influencer – project advocates
Consult	Influencer	<ul style="list-style-type: none"> • Water Corporation • Department of Planning, Lands and Heritage 	Timely approved designs for construction.

The key communications types and frequency proposed for each stakeholder is detailed in the table below.

Communications Type	Description	Frequency/ Format	Stakeholders	Responsibility
Project Status Report	Report detailing the status of the project	Weekly. Email	Decision makers – Shire Senior Management, Council, Coop Board	Project Manager
Project Team Meeting	Meeting to discuss project actions, review status report	Weekly. In person	Project Team	Project Manager
Project Update	Report detailing the status of the project	Monthly. In person	Decision makers.	Project Manager
Face to Face Meetings	Meeting to discuss logistics and project development	As needed.	Affected. Perceived Stake.	Project Manager
Technical Design Review	Review of technical designs	As needed. Email	Project Team and consultants	Project Manager
Social Media updates	Short project updates	Monthly. Social Media platforms	Affected. Perceived Stake. Influencers.	Media Officer
Shire community newsletter	Short project updates within the broader Shire newsletter	Monthly. Online and hardcopy	Affected. Perceived Stake. Influencers.	Media Officer
Formal Letters/Applications	Letter or application for approvals	As needed. Email/Post	Water Corporation. Department of Planning, Lands and Heritage	Project Manager
Funding Reports and Acquittals	Grant status reports and acquittals	As determined by grant agreement. Email	Funding Bodies	Project Manager

3.2. Project Management

This project will be managed by the Shire of Boyup Brook, with the Chief Executive Officer as the Project Sponsor overseeing the project. The Project Manager will be Aaron Bowman,

Deputy Chief Executive Officer. Aaron has a Bachelor of Commerce and Accounting, a Post Grad Dip in Local Gov and Executive Masters Business Administration. He has 20 years project management experience, including a number of large projects that he managed as the CEO of the Shire of Cocos Keeling Islands:

- \$5 million coastal erosion mitigation project
- \$1.5 million multiuse community centre and cyclone shelter

An industry standard project management approach (PMBOK or Prince2) will be utilised to manage the project stages, with management documentation and reporting processes developed as part of the Project Manager role.

3.3. Project Governance

The Shire of Boyup Brook has significant experience in delivering a variety of projects of a range of sizes, scope and complexity, including projects that utilise significant portions of grant funding. The Shire is confident it possesses the staff skills and resources to deliver the proposed project in a timely manner. Recent projects involving grant funding which the Shire has successfully delivered include:

- the Children's Pool Project \$134,716 (DLGSCI \$64,000 Community Pool Revitalisation Program + \$20,000 Lotterywest)
- Beatty Street Shared Bike Path Project \$63,596 (DoT \$30,000 WA Bicycle Network Grants)
- Fire Mitigation Activity Fund from the Government of Western Australia Department of Fire and Emergency Services (\$68,548 2019/20 and \$139,391.50 2018/19).
- Sandakan Playground Fence and equipment upgrade \$17,130 (Department of Industry, Innovation and Science \$8,000 Stronger Communities Program)

The Shire has consistently ensured that project budgets, timelines and delivery have been managed effectively and efficiently and with significant experience in grant reporting and acquittals the Shire has never been rejected funding due to a breach of a grant agreement.

The project will be overseen by a Project Steering Group including the Shire CEO, a qualified Project Manager, Co-Op representative, relevant Shire officers (as required) and DPIRD/SWDC representative. Day-to-day operations will be managed the Project Manager, who will oversee the Project Team and chosen sub-contractors. The Project Team will meet weekly to discuss project matters and will provide monthly Project Status reports to the Project Steering Group.

3.4. Procurement Strategy

The Shire of Boyup Brook has a number of policies, manuals and templates in place to assist officers to undertake the purchasing of goods and services in accordance with the requirements of the *Local Government Act 1995* and *Local Government (Functions and General) Regulations 1996*. This project will be managed in accordance with the Shire of Boyup Brook's Purchasing Policy F.03. This policy is in place to:

- Ensure compliance with the Act and the *Local Government (Functions and General) Regulations 1996*;
- Deliver a best practice approach, and internal procedures when purchasing for the Shire of Boyup Brook;

- Ensure all purchasing activities integrate consistently across all of the Shire's operational areas;
- Provide the Shire with effective processes for purchasing goods and services;
- Ensure that purchasing transactions are carried out in a fair and equitable manner;
- Strengthen integrity and confidence in the Shire's purchasing system;
- Ensure that the Shire receives value for money in its purchasing;
- Ensure that the Shire considers both the staff and community health and safety, and environmental impacts of the procurement process across the life cycle of goods and services;
- Ensure the Shire is compliant with all regulatory obligations;
- Promote effective governance and definition of roles and responsibilities; and
- Uphold respect from the public and industry for the Shire's purchasing practices which withstand probity.

The Shire's Policy sets out the below procurement values:

Amount of Purchase	Model Policy
Up to \$5,000	Quotations not required.
\$5,001 - \$39,999	By reference to WALGA's Preferred Supply Panels or obtain at least two written quotations.
\$40,000 - \$150,000	By reference to WALGA's Preferred Supply Panels or obtain at least three written quotations containing price and specification of goods and services (with procurement decision based on all value for money considerations).
More than \$150,000	By reference to WALGA's Preferred Supply Panels or Conduct a public tender process.

In line with the Purchasing Policy, this project will involve the completion of a public tender process, due to the purchase amount exceeding \$150,000. This procurement will be managed in accordance with the *Local Government Act 1995, Tendering Regulations*, as detailed in the *Local Government (Functions and General) Regulations 1996*.

As detailed in *Section 2.14 Local Content*, the Shire's Regional Price Preference Policy is compliant with the WA Government's Building Local Industry Policy and Buy Local Policy.

3.5. Supporting Documents

The below supporting documents are attached to this business case.

- Attachment A - Tourism Impact Summary
- Attachment B - Boyup Brook Viewing Tower - Construction Phase Economic Analysis
- Attachment C - Rhodes Pastoral in-kind support
- Attachment D – Quotes



4. SIGNING OF BUSINESS CASE

4.1. *Sign-off*

I confirm that the information contained in this Business Case to the best of my knowledge is true and correct.

CEO / DG

Signed

Approved by

Position

Date

Royalties for Regions Summary Investment Pro

PROPOSAL INFORMATION - SUMMARY

a. Proposal title	BOYUP BROOK CENTENNIAL TOWER		
b. Proponent	SHIRE OF BOYUP BROOK		
c. Delivery partner/s	Boyup Brook Cooperative		
d. Location	<input type="checkbox"/> Gascoyne <input type="checkbox"/> Goldfields-Esperance <input type="checkbox"/> Great Southern <input type="checkbox"/> Mid West <input type="checkbox"/> Kimberley	<input type="checkbox"/> Peel <input type="checkbox"/> Pilbara <input checked="" type="checkbox"/> South West <input type="checkbox"/> Wheatbelt <input type="checkbox"/> All regions (i.e. State-wide)	
e. Financial details	Total budget	\$629,820	(Excl. GST)
	Total Royalties for Regions request	\$421,820	(Excl. GST)
f. Duration	Target start date	January 2021	
	Date for project completion (including achievement of all Outputs and Milestones)	December 2021	

ATTACHMENTS

(List any documents that are attached with this proposal. These may include, but are not limited to, feasibility studies, signed letters of support, market analysis, Gantt Charts and design documents.

Note: Whilst additional supporting documents can be provided in support of your Investment Proposal, only those documents deemed critical for context should be formally listed as an attachment).

Business Case – to follow

Design Documents

Site concept Plan

Economic Impact Analysis

Tourism Impact Analysis

PROPOSAL DELIVERY CONTACT

Name	Dale Putland	Phone	0897651200
Position	CEO	Email	shire@boyupbrook.wa.gov.au

PROPOSAL FINANCIAL CONTACT

Name	Aaron Bowman	Phone	0897651200
Position	Deputy CEO	Email	shire@boyupbrook.wa.gov.au

1. PROPOSAL PURPOSE

(The purpose should identify what the project aims to achieve with the Royalties for Regions funding requested and provide a succinct statement that demonstrates alignment with the application of the Royalties for Regions Act 2009 for regional Western Australia.)

The intention of this project is to deliver a tourism and fire control/identification asset as well as direct linkage to the Bicentennial Track, improving access and connectivity to, and around, Boyup Brook. The Tower will provide a focal point for visitation, emergency management and recreational activity, generating additional appeal and amenities within the local community and supporting the economic development of the town and the wider region.

The Shire of Boyup Brook is focused on providing additional attractions for visitors to expand on current offerings including existing established and well-known annual events. The Centennial Tower would provide a centrepiece attraction as well as the capacity to host a series of events specific to the infrastructure itself. This increased visitation and activation of the site, structure and surrounds would have a flow-on effect, supporting and incentivising local business and industry.

It is envisaged that environmental options for future-focussed utility provision/re-use (eg: power, water) will be integrated into the project where possible. The project will source all supplies and services from within the State, with local content being a priority.

2. PROPOSAL BENEFITS

(Provide a summary statement of anticipated economic benefits, job creation and people capability enhancement for the region or state that align with Item 4 below - minimum 100 words.)

An economic analysis of the project completed by Regional Development Australia – South West found that the project will result in significant benefits both during and post construction, with the majority of these benefits remaining in the South West region. The project is expected to result in benefits during construction of:

- A total increase in output of \$1.495 million
- 3 additional FTE jobs
- Total value-add of \$514,800

The project will also result in increased visitor expenditure annually and will have a significant impact on the town and the region's economy ongoing. The total direct effect of increased visitor expenditure is estimated to be:

- \$435,839 annually in increased economic output
- 1FTE ongoing job created
- Increase in Gross Regional Product of \$204,192

It is anticipated that, in addition to the direct benefits outlined, there will be significant additional indirect and associated benefits arising from this project. The project is therefore in direct alignment with the WA State Government's whole-of-government priorities of 'A Strong Economy' and 'Regional Prosperity', as well as numerous other State, local and regional policies and frameworks. This Centennial Tower project will deliver a tourism asset in Boyup Brook that attracts visitors, provides additional activities and amenities for the local community and is a stepping stone to increase the economic contribution of tourism to the town and the wider region.

3. PROPOSAL DESCRIPTION

(Provide a clear description of the proposal including what will be delivered – and why it is needed. - maximum 150 words)

To construct a Centennial Viewing Tower 28m high with viewing decks at 13m and at 26m, enabling stunning views in excess of 20km in every direction. The project will include sufficient parking and turning space for larger vehicles, a new roadway to access the Tower and an accessible ablutions block, with quality landscaping and interpretation around the Tower base. The Tower will be located in a readily accessible area already frequented by tourists due to the number of wildflowers and proximity to walking trails. The main tourist walking trail, Bicentennial Trail, is a 6km walk through the prettiest parts of Boyup Brook and along the edge of the river. The purpose of this project is to be a catalyst to encourage more new and return visitors to Boyup Brook - providing an all-year-round attraction, complimenting other tourism offerings in the town and encouraging the development of local retail and industry.

Also complete the table below by inserting the outputs specific to the project.

	Outputs	Completion Date
1	Construct a 28m high tower with viewing platforms at 26m and 13m to Australian standards.	Construction is completed to Australian standards by December 2021.
2	Construct carpark, accessible ablutions and road access and establish landscaping, wayfinding and interpretative signage surrounding the tower as per concept plan.	Construction is completed to Australian standards by December 2021.

4. KEY OUTCOMES

(List the outcomes the proposal is expected to deliver and an anticipated achievement date.) Please state these in terms of the regional development strategic outcomes of a) jobs growth, b) economic growth and c) capable people).

#	Outcome	Achievement Date
1	Economic growth: 50% increase in the number of visitors, measured by Tourism WA Visitor statistics, occupancy rate of accommodation and number of visitors to the Boyup Brook visitor centre.	December 2022
2	Jobs Growth: the project will deliver the immediate and direct growth of 3FTE jobs during the construction phase. It is anticipated that, in addition to the direct jobs growth there will be significant additional indirect and associated benefits arising from this project including at least 1FTE additional indirect job on an ongoing basis through tourism expenditure, measured by REMPLAN data.	December 2021 December 2022
3	Capable People: Increased local and sub-regional capacity through direct and indirect flow-on to business and industry.	December 2022

(It is important that RfR investment outcomes can be measured, evaluated and communicated)

5. FINANCIAL INFORMATION

a. Total budget for the proposal	(\$) 629,820 excl. GST
b. Total Royalties for Regions (RfR) request	421,820
c. Proponent contribution - cash	100,000
d. Proponent contribution – in kind	
e. Third party funding - cash	100,000
f. Third party contribution – in kind	8,000

Please ensure financials (b) through to (f) sum to (a) Total budget for the proposal.

6. PROJECT BUDGET

	Item of Expenditure	Funding Source	Amount (\$)
1	Preliminary Works	Shire of Boyup Brook and Co-op	\$7,672
2	Site works and concrete	Shire of Boyup Brook and Co-op	\$49,680
3	Transport of structure	Rhodes Pastoral (In-Kind)	\$8,000
4	Tower Construction	State Government	\$374,800
5	Road and Carpark Construction	Shire, Co-op and State Government	\$67,210
6	Ablutions Construction	State Government	\$28,622
7	Lighting and electrical	Co-op	\$20,000
8	Landscaping and pathways	Shire of Boyup Brook and Co-op	\$12,000
9	Water and Power connection	State Government	\$3,836
10	Signage	Shire of Boyup Brook	\$8,000
11	Contingency	Shire of Boyup Brook	\$50,000
			\$629,820

6.1 Third Party Funding Details

	Source	Secured/not secured	Dependencies (e.g. subject to in-principle agreement, other funding applications, etc.).	Amount (\$)
1	Shire of Boyup Brook	Secured		\$100,000
2	Co-op	Secured		\$100,000

6.2 Milestones and Cash Flow Schedule

(Please list high level Milestones to be achieved during the annual period prior to the disbursement of funds. There should be a maximum of two (2) milestones per financial year. Disbursements will take place in October each year following receipt of the Recipient's audited Annual Report. Should you require an alternate disbursement schedule, please discuss with your DPIRD contact).

	Milestone	Disbursement	Amount (\$)
1	Project commencement	Once all funding has been secured.	\$210,910
2	Siteworks commence		
3	Siteworks complete		
4	Construction commence		
5	Construction complete	Within 12 months of funding receipt	\$210,910
6	Landscaping, pathways complete		
7	Practical Completion		

6.3 Future Funding Source

(List any ongoing costs for the proposal beyond the life of the RfR investment (e.g. maintenance or running costs, staffing requirements) and how they will be funded. (Proposals that will not generate any ongoing costs should include a statement to that effect).

	Ongoing Cost	Funding Source	Annual amount (\$)
1	Repaint viewing deck panels & replace high-visibility strips on the steps \$4,200 every 5 years	Shire of Boyup Brook	\$840
2	Electricity and water costs	Shire of Boyup Brook	\$1,000/year (subject to environmental offset options)

7. RISKS AND CONSTRAINTS

(Identify the risks associated with the Proposal including issues that may prevent the Proposal progressing or that may hinder the achievement of deliverables. Consider and explain the risk mitigation strategies which will reduce the effects of each risk.

Ensure that the full lifecycle of the Proposal and 'post' funding risks such as operation and maintenance are considered. Please also address if the Proposal will result in unfair competition to existing industry and/or business.)

	Identified Risks	Mitigation Strategies
1	All funding not secured	<ul style="list-style-type: none"> • Complete project business case to enable other funding applications to be made and investment sought. • Maintain open communication with funding bodies. • Project will not be able to proceed with all intended benefits if funding is not sourced.
2	Cost overruns	<ul style="list-style-type: none"> • A formal quote has been used as the basis for the cost estimate for the major project component; the tower. • Shire to consider additional in-kind contribution to deliver some of the work. • Contingency allowance in place • Ensure Tender Contract is comprehensive • Investigate construction cost savings • Seek additional funding from Council, community donations or other sponsorship • Investigate options to reduce scope or delay some landscaping/pathways without affecting benefits.
3	Construction contractor discovers adverse site conditions	<ul style="list-style-type: none"> • Contingency allowance in place • Ensure Tender Contract is comprehensive • A geotechnical investigation will be undertaken prior to the commencement of the construction • Seek in-kind contributions from the community to complete the hard digging • Seek additional funding from Council, community donations or other sponsorship
4	Environmental issues e.g. flora and fauna	<ul style="list-style-type: none"> • The site is currently cleared. Some recent tree and shrub planting may be affected by the build. Where possible this will be retained. • A landscape plan will be developed during detailed design stage.
5	Significant delays due to weather	<ul style="list-style-type: none"> • Ensure sufficient contingency in construction schedule • Do not schedule works during winter period, or allow increased time for completion over winter • Investigate options to increase trades to accommodate weather • Ensure all insurances are kept up to date
6	Builder bankruptcy	<ul style="list-style-type: none"> • Obtain bank guarantees from builder • Conduct due diligence on financial status of builder prior to contract award • Ensure all insurances are kept up to date

7	Quality of work is unacceptable	<ul style="list-style-type: none"> • Ensure Tender Contract is comprehensive and clearly details expectations • Complete reference and due diligence checks prior to contract award • Project Manager regularly completing quality control inspections • Ensure bank guarantees and insurances are in place
8	Contractors not adhering to safety standards	<ul style="list-style-type: none"> • Ensure OSH guidelines are in place • Complete reference and due diligence checks prior to contract award • Project Manager regularly completing inspections • Project Manager to maintain and update Risk Register • Complete site risk assessments/inspect contractors risk assessment records • Ensure contract specifies default notice processes
9	Public liability matters (e.g. accident)	<ul style="list-style-type: none"> • Ensure all insurances are kept up to date • Ensure OSH practices are followed • Ensure appropriate barrier fencing and signs are erected at all times during construction • Ensure continued communication with public • Ensure sufficient lighting and signage after project completion
10	Site security issues	<ul style="list-style-type: none"> • Ensure necessary site security is required of contractor and in place • Ensure insurances are maintained by contractor • Ensure continued, open communication with public, as has been the case in the development of the project
11	Effect of construction work on surrounding neighbours	<ul style="list-style-type: none"> • Schedule construction works to minimise impact after hours. • Ongoing communication with all neighbours and community • Sufficient signage and traffic management required in construction contract
12	Use of completed tower is not as high as expected	<ul style="list-style-type: none"> • Develop a well-resourced marketing program to advertise the tower to domestic visitors • Consider engaging with Tourism WA to improve the marketing plan and campaign • Consult with Tourism WA for ideas to increase visitation/bookings • Council to consider sponsoring events at the tower to generate awareness of the asset, such as a race or a long-table lunch
13	COVID19 related travel restrictions impact on interstate and international visitor numbers	<ul style="list-style-type: none"> • Key target markets are domestic visitors who are expected to travel intrastate more during this time • Work with Tourism WA and local tourism groups like BBTA to target the domestic markets until markets can be expanded
14	Natural disaster	<ul style="list-style-type: none"> • Ensure adequate insurances are in place

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**Maintenance and operational
cost of facility is higher than
expected**

- Add asset to Shire's Asset Register
- Ensure accurate costings during detailed design phase
- Investigate options to reduce cost of maintenance
- Increase Council commitment to maintenance costs or seek a commitment from the Co-op to fund the shortfall

8. PROPOSAL STATUS

(Briefly explain the current status of the Proposal, including any approvals that are pending or still to be obtained – maximum 150 words)


This project is currently shovel ready. Land tenure has been confirmed - Management for Reserve 24878 currently sits with the Shire of Boyup Brook. Submission of a Development Application is pending, with Shire support for subsequent Building Permit application. The environmental approvals process is also underway.


9. ADDITIONAL INFORMATION

(Enter text here to a maximum of 500 words).

ENDORSEMENT

(All Investment Proposals must be endorsed by the Chief Financial Officer (or other Accountable Officer) AND the Director General or Chief Executive Officer of the Applicant. This is to ensure the content of the Investment Proposal adequately reflects the financial details, the scope of work and the capacity for the Agency to deliver the Project. Endorsement of the Investment Proposal also provides acceptance of the Standard Project Requirements (Attachment A) and Terms and Conditions for the receipt of funding (Attachment B).

Name	Aaron Bowman	Position	Deputy CEO
Organisation	Shire of Boyup Brook	Date	28/10/2020
Signature			

Name	Dale Putland	Position	CEO
Organisation	Shire of Boyup Brook	Date	29/10/2020
Signature			

OFFICE USE - DEPARTMENT OF PRIMARY INDUSTRIES AND REGIONAL DEVELOPMENT

Date Received:

Ref:

Attachment A – Royalties for Regions Standard Project Requirements

Roles and Responsibilities

The Department:

- a) administers the Royalties for Regions Fund to comply with the *Royalties for Regions Act 2009*; and
- b) is not responsible or liable for the success or otherwise of the Project for which Funding is provided nor for any losses, costs, expenses, liability, fines or penalties suffered or incurred by the Recipient in undertaking the Project.

The Recipient:

- a) is responsible for delivery and completion of the Project. This responsibility extends to Project monitoring, delivery, and responding to all requests for information on the progress, attainment of key milestones and status of the delivery of outcomes for the Project; and
- b) is to ensure appropriate governance processes are in place for the scale and nature of the Project.

Reporting

The Recipient is to provide to the Department:

- a) an audited annual report on the Project based on the financial year ending 30 June on the template provided by the Department. The audited annual report is to be submitted within three (3) months after the end of the financial year to which the annual report relates.
- b) a Cumulative Expenditure Report on the Project based on the first six (6) months of the financial year on a template provided by the Department. The report is to be submitted 10 business days after the end of January.
- c) advice when the Project is complete. The Department will then provide the Recipient with a written request and template for submission of a report (Final Report), within three (3) months, which must be certified by the Recipient's Director General and Chief Financial Officer or other accountable officer.

Communications

Any communications in relation to one or more of Royalties for Regions Projects including presentations, publications, signage, articles, newsletters, or other literary works relating to the Project must be consistent with the Department's Marketing, Communications and Acknowledgements Policy for investments under Royalties for Regions.

Attachment B – Royalties for Regions Terms and Conditions

These Terms and Conditions are in addition to the Financial Reporting Obligations and disclosures as set out in the Financial Management Act 2006.

1. Funding Amount

Disbursal of Funding will be subject to availability of funds through the State budget & mid-year review of the State budget each financial year.

2. Use of Funding

The Recipient must:

- a) use the Funding (and any interest which accrues on the Funding) for the carrying out of the Project as per the agreed final Summary Investment Proposal or Business Case;
- b) seek the written consent of the Department should any changes to the Project or the agreed Project budget be required;
- c) comply with & ensure compliance with all laws, State Government Policies, & industry/accounting standards in delivering the Project;
- d) keep proper written records of income, expenditure & any Project or contractual issues & supply, in a timely manner, the Department with proper access to those records as, & when asked for;
- e) promptly provide the Department with information & documentation relating in any way to the Project, the Funding or the Recipient's rights or Obligations upon request, ensuring that such information & documentation is true & accurate, up-to-date & complete & in no way misleading or deceptive;
- f) promptly meet with the Department as & when required to brief the Department on matters it seeks to know;
- g) establish a separate restricted cash account for Royalties for Regions Funding & any interest which accrues on the Funding within its financial system; & maintain separate cost centres for each Project funded;
- h) in addition to Obligations imposed under the FMA (2006), provide the Department with project reporting as per Attachment B – Standard Project Requirements to this Letter of Funding Confirmation;
- i) advise the Department immediately should any major issue, impediment or contractual issues in connection with the Project or any Obligation of the Recipient arise & keep the Department apprised of any & all developments as & when they occur;
- j) complete the Project by the Project Completion Date and return any unspent funds as per item 6 of the Terms & Conditions; and
- k) comply with all requirements set out in the Summary Investment Proposal, the letter by which the funding is offered & Attachment A - Royalties for Regions Standard Project Requirements, together with all representations, promises & undertakings given by the Recipient in relation to either or both of the Project & the Funding.

3. Leveraged Funding

The Recipient must obtain the Leveraged Funding from the sources set out in the Summary Investment Proposal or Business Case, which the Recipient must use to carry out the Project & for no other purpose.

If there is a shortfall, or the Recipient does not obtain the Leveraged Funding, the Recipient must notify the Department in writing as soon as possible.

4. Third Party Agreements

The Recipient must act prudently when entering into & performing contracts or any other type of agreement or arrangement with a third party in delivering the Project and do all that is reasonable to enforce them.

5. Notification

The Department intends to provide the Recipient with Notification once it considers that the Recipient has properly complied with & fulfilled all of its Obligations including that the Final Report provided by the Recipient is satisfactory.

The Department has absolute discretion in:

- a) determining whether & when it considers that the Recipient has properly complied with & fulfilled all of its Obligations

including that the Final Report provided by the Recipient is satisfactory; and

- b) determining whether and when to provide the Notification to the Recipient.

6. Repayment and Retention of the Funding

Within twenty (20) business days from receipt by the Recipient of any written request from the Department to provide a Final Report, the Recipient must remit to the Department any Funding that the Department has paid to the Recipient that has not been spent or committed and any interest which accrues on that Funding.

7. Evaluation or Audit Rights

At any time until five (5) years after receipt of the Notification by the Recipient, the Department may arrange for an Evaluation or Audit to be carried out in relation to the Project by either the Department, the Auditor, or any other person that the Department in its absolute discretion wishes to carry out the Evaluation or Audit. If the Department arranges for an Evaluation or Audit:

- a) the Department must notify the Recipient that the Department has arranged for an Evaluation or Audit to be carried out; and
- b) the Recipient must allow all persons appointed by the Department to carry out the Evaluation or Audit to:
 - (i) have full access to all documents, records and premises in the control or possession of the Recipient for the purpose of carrying out the Evaluation or Audit; and
 - (ii) make and take copies of any and all documents and records in the control or possession of the Recipient relating in any way to the Project.

8. Definitions

Auditor means the Office of the Auditor General or an Independent Auditor.

entering into includes performing, varying, extending & terminating.

Evaluation or Audit means one or more of an audit, examination, investigation, inspection, review, evaluation, or a similar activity.

Final Report includes:

- a) a financial report certifying that the Funding (and any interest accrued on the Funding) was used for the Project & confirming the amount of Funding spent; and
- b) a project report showing how and to what extent the Funding (and any interest accrued on the Funding) was spent and the extent to which the Recipient's deliverables were performed and the Milestones met.

Funding means the approved Royalties for Regions investment at the amount specified in the Letter of Funding Confirmation.

Leveraged Funding is the additional cash funding obtained for the Project from other sources.

Milestones means the date by which Deliverable must be completed, and includes the Date for Project Completion.

Notification means a notice by the Department given in accordance with this Letter of Funding Confirmation that in the Department's opinion the Recipient has properly complied with and fulfilled all of its Obligations, including that the Final Report provided by the Recipient is satisfactory.

Obligation means an obligation in this Letter of Funding Confirmation & Attachments.

Project means the initiative or activities described in the original Summary Investment Proposal or Business Case.

Project Completion Date is the date for completion as set out in the Summary Investment Proposal.

Summary Investment Proposal means the final agreed proposal submitted by the Recipient to the Department, seeking Royalties for Regions Funding.

Royalties for Regions means the State's Royalties for Regions program under which monies standing to the credit of the Fund (as defined in section 3 of the *Royalties for Regions Act 2009*) are expended for purposes permitted under the *Royalties for Regions Act 2009*.

State means the State of Western Australia

RECEIVED 13 MAY 2020



ABN: 88 604 463 023

18th February 2020
 City of Boyup Co-Operative
 DFD Rhodes Boyup Brook

Attention Mr. Michael Wright

Re; PUBLIC VIEWING TOWER BOYUP BROOK FIXED PRICE

Dear Michael,

Grid Construction would like to thank yourself and the Boyup City Council the opportunity to provide a Fixed & Final price for the supply and installation of the Public Viewing Tower to be located in the town of Boyup Brook. Grid Construction have allowed to;

- Supply Structural steel fabricated as per our Structural Engineers Details
- Hot dip galvanize Structural Frame, Stairs and Landings.
- Hardware and fixings.
- Travel to site and set caged hold down bolts as per the New Design Footing layout. (concrete supply by others)
- Accommodation and Messing for Footing Crew.
- Riggers to stand Structural Frame. The frame will be constructed in modules at ground level and lifted into place over four critical lifts.
- Cranes and EWP's included to stand structural steel.
- Excavation of footings (no hard digging allowed).
- Supply of colorbond sheeting and flashings.
- Qualified Roof Plumbers to install First Stage and Main roof covers.
- EWP and access to roof allowed.
- Supply and install Floor material to Landings, GALVANISED CHECKER PLATE
- Hand Rails Balustrade style for Tower 100mm approx. spacings
- Supply and install hand rail as per the design and samples included
- Fabricate Treads from Non-Slip check-a-plate for the majority of the stairs.,
- Grid have allowed for open treads to the first-floor area so that excess dirt/ debris from foot wear is possible and to minimize tracking of loose materials to the upper levels.
- Site supervision.
- Accommodation for rigging crew and roof plumbers.
- Planning and building license fees...
- Insurances whilst the works are being undertaken.

Price \$377,000.00.00 plus GST



ABN: 88 604 463 023

No allowance for;

- Transport.
- Any electrical conduits or powered systems within the structure.
- Site huts or WC
- Hard digging of site
- Site works
- Concrete for footings and landing (FOOTINGS 40M3 REQUIRED)
- Waste removal from site. (footing spoil)

OPTIONAL EXTRAS

- Mod Wood Flooring (rubber compound Decking to Viewing Landings Only)
- Perforated Screens to Hand Rails & Viewing Landings
- Price Increase \$25,000.00 + GST

Grid Construction believe that the content of this proposal covers that which had been requested and hope that the proposal meets your expectations and is worthy of your consideration.

Michael please feel free to call and discuss any of the above

Best Regards

Jay Lewis
Kane Pages Oliver
Greg Robertson

PROPOSED VIEWING PLATFORM

FOR DFD RHODES BOYUP BROOK WA

GENERAL NOTES

- ALL ENGINEERS DRAWINGS TO BE READ IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS.
- BUILDER TO CHECK ALL DRAWINGS BEFORE COMMENCING WORK. ALL DIMENSIONS TO BE CHECKED WITH ARCHITECTURAL DRAWINGS AND ANY DISCREPANCIES TO BE REPORTED TO ENGINEER.
- ALL WORK TO COMPLY WITH THE LATEST SAA CODES AND AMENDMENTS.
- BRICK OR MASONRY WALLS AND ANY OTHER NON-STRUCTURAL PANELS ARE TO BE SECURELY FIXED INTO THE STRUCTURE.
- ALL TEMPORARY BRACING REQUIRED DURING CONSTRUCTION IS THE RESPONSIBILITY OF THE BUILDER.
- SPECIFICATION OR INSTRUCTIONS ON DRAWINGS TAKE PRECEDENCE OVER THESE NOTES.
- DO NOT SCALE FROM DRAWINGS.
- DO NOT SCALE FROM DRAWINGS.
- USE THIS: COMPLY WITH CL11
- WIND DESIGN CRITERIA IN ACCORDANCE WITH AS1170.2
- WIND REGION: STRUCTURE B; CONCRETE SLAB & FOOTING: A
- TERRAIN CATEGORY: 2
- IMPORTANCE LEVEL: 1
- DESIGN WIND SPEED (V_W) = 45 m/s FOR REGION A & 57 m/s FOR REGION B
- DESIGN WIND SPEED (V_W) = 37 m/s FOR REGION A & 38 m/s FOR REGION B
- DESIGN WIND SPEED (V_W) = 20 m/s
- WIND DIRECTION FACTOR (K_{dir}) = 1.0

CONCRETE

- COMPLY WITH AS3500 AND ITS REFERENCED NOTES.
- COMPLY WITH CL5.5.7 BS4-0100-STD-5-002.
- CONCRETE SLAB @ 30MPa AND BURED CONCRETE @25MPa.
- PROJECT ASSESSMENT OF CONCRETE STRENGTH IS REQUIRED.
- USE ONLY ORDINARY PORTLAND CEMENT TYPE 'GP' UNLESS OTHERWISE NOTED.
- NOTIFY ENGINEER AT LEAST 24 HOURS BEFORE PLACING CONCRETE.
- BUILD FORMWORK TO SPECIFIED STANDARDS AND FROM ARCHITECTURAL DRAWINGS. PROVIDE FOR BUILT IN FIDING, REBATES, FLASHINGS, TIES, MECHANICAL, ELECTRICAL, AND PLUMBING SERVICES, Etc.
- LOCATE CONDUITS AND PIPES IN CENTER OF SLABS WITH 30mm CLEAR BETWEEN.
- COMPACT CONCRETE USING APPROVED INTERNAL VIBRATORS, OR AS OTHERWISE SPECIFIED.
- CURE CONCRETE BY KEEPING IT WET FOR SEVEN (7) DAYS OF BY ANOTHER APPROVED METHOD.
- IF SPECIFIED.
- CONCRETE COVER TO REINFORCEMENT, UNLESS OTHERWISE SHOWN- MINIMUM COVER IS TO FIRST STEEL.
- FOOTINGS 50mm
- ALL CHAMBERS TO ARCHITECTURAL DETAILS.
- CONCRETE SHALL BE SUPPLIED BY AN APPROVED PRE-MIXING COMPANY AND HAVE THE SPECIFIED CHARACTERISTIC STRENGTH (f_c) AT 28 DAYS AND COMPLY WITH CL5.5.2.1 BS4-0100-STD-5-002

FORM WORK

- FORMWORK SHALL COMPLY WITH AS3610.
- THE CONTRACTOR SHALL SUBMIT PROPOSALS FOR THE FORMWORK AT THE COMMENCEMENT OF THE JOB.
- SECTION 19.6 OF AS3500 WHICH EVER INDICATES THE LONGER SETTING TIME.

DRAWING SCHEDULE:

300	COVERSHEET AND GENERAL NOTES
301	SLAB AND FOOTING LAYOUT
302	FOOTING DETAILS
303	STRUCTURAL ROOF PLAN
304	STRUCTURAL ELEVATIONS
305	STRUCTURAL SECTIONS
306	STRUCTURAL DETAILS 1
307	STRUCTURAL DETAILS 2
308	STRUCTURAL DETAILS 3
309	STRUCTURAL DETAILS 4
310	LADDER ELEVATIONS
311	PLATFORM PLAN

STRUCTURAL STEELWORK

- COMPLY WITH AS 1100 AND 1554.
- FABRICATION DETAILS TO BE APPROVED BY ENGINEER BEFORE FABRICATION. SITE CHECK ALL DIMENSIONS.
- WELDING TO COMPLY WITH AS 1554.57 (SPECIAL PURPOSE)
- CORRECT ALL MEMBER DISTORTIONS BEFORE AND AFTER WELDING.
- MEMBER CONNECTIONS TO DEVELOP FULL STRENGTH OF MEMBERS. MINIMUM WELDS ARE 6mm FILLET CONTINUOUS.
- PROVIDE ALL CLENTS, BRACKETS, WELDING AND HOLDING REQUIRED EVEN IF NOT DETAILED.
- TOGETHER WITH ANY TEMPORARY BRACING FOR THE COMPLETION OF THE BUILDING.
- FULLY SEAL ALL HOLLOW SECTIONS USING 5mm PLATES U.N.O.
- BOLT STAGGERS:
 - 4.0S - COMMERCIAL GRADE BOLTS TO AS 1111 AND AS 1112
 - 8.0S - HIGH TENSILE BOLTS (SHUG TIGHT) TO AS 1252
 - 8.8HT - HIGH TENSILE BOLTS (FRUCTION TYPE) TO AS 1252 AND AS 1511
 - 9.8HT - HIGH TENSILE BOLTS (BEARING TYPE) TO AS 1252
 - 9.8HT - HIGH TENSILE BOLTS TO AS 1511
- ALL BOLTS IN THIS JOB TO BE M16 U.N.O.
- ERECT STEEL WORK STRICTLY IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.
- ROOF RIPS AND VALLEYS TO HAVE 75 x 75 x 3.0 ANGLE FIXED TO PURLINS TO SUPPORT PURLINS TO PURLINS TO BE CONNECTED TO THE WEB AND NOT TO THE FLANGE OF THE PURLIN WHEN POSSIBLE.
- USE FULL PENETRATION BUTT WELDS TO SPURCE MEMBERS U.N.O.
- PROTECTIVE TREATMENT COMPLY WITH PROJECT SPECIFICATIONS BS4-0100-STD-5-001
- NOT ROLLED STRUCTURAL STEEL SHALL COMPLY WITH GRADE 250 TO AS 3678 AND/OR AS3678 OR 3679 OR APPROVED EQUIVALENT. CHS TO COMPLY WITH GRADE 250 TO AS 1152.

SPECIFICATION

COLUMNS	C1 - 150UC 23
FLOOR BEAMS	B1 - 200UB 22
TRUSSES	STR1 - 200PFC
ROOF JOISTS	FJ1 - 200PFC
BRACING	BR1 - CHS114.3 x 3.6
FLASHINGS	0.6 PG
STEEL FINISH	HOT DIP GALVANISED
ROOF	0.42 BAT C/BOND TRIMDEN9
PURLINS(6TH LEVEL)	160C16 PURLINS AND 150C24 FASCIA
PAD FOOTING(TYPICAL)	2000x2000x2000 DEEP

COVERSHEET AND GENERAL NOTES

Job Title: PROPOSED COOP TOWER
FOR DFD RHODES

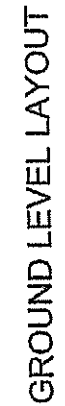
Drawing No: 1 OF 1
Sheet No: C0-01
Drawing No: BOYUP BROOK WA 8244

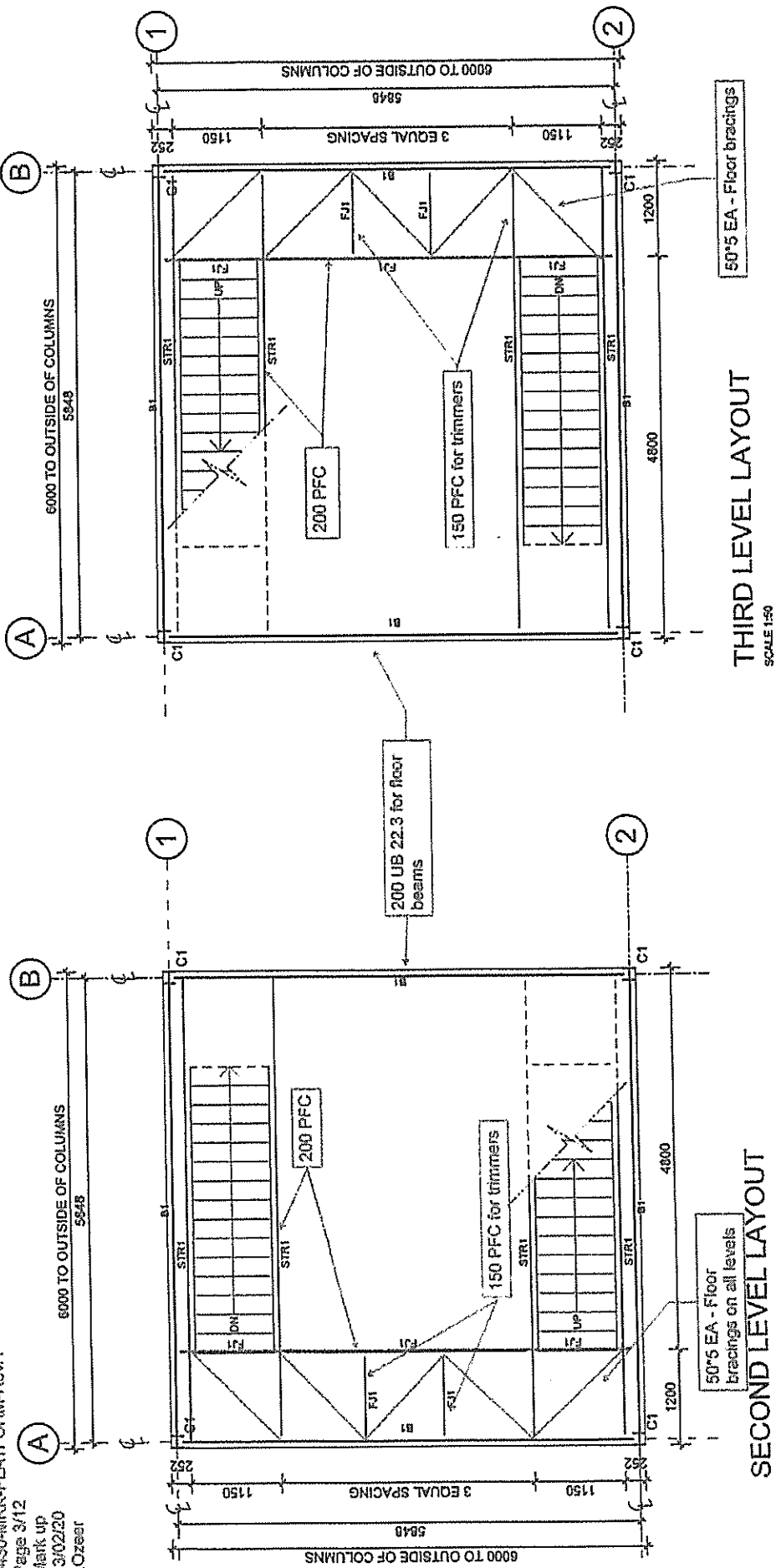
Checked: 17/0 Date:



15 Hanson St
Maddegong WA 6109
Tel: 08 9459 2558
W: www.gridconstruction.com.au

Scale: AS SHOWN
Revision: A

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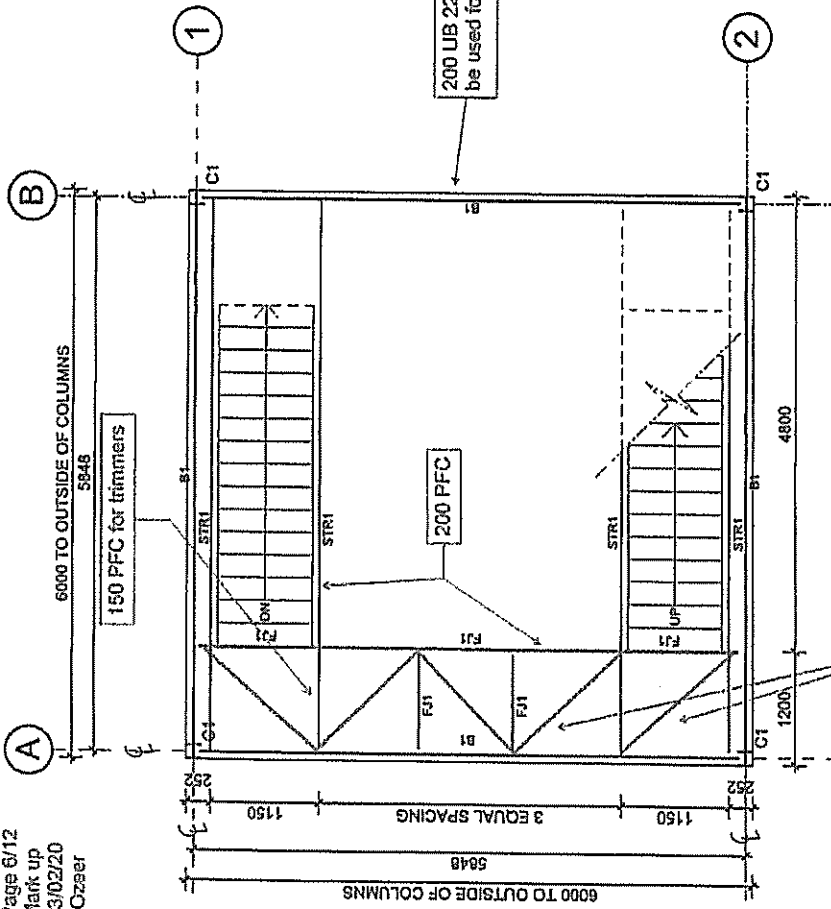


15 Hanson St Madbury WA 6109 Tel: 08 9459 2559 W: www.gridconstruction.com.au		GRID CONSTRUCTION		Scale: A3 shown	Revision: A
SECOND & THIRD FLOOR PLAN		Job Title: PROPOSED COOP TOWER FOR DFD RHODES		Drawing No: SP-02	
Site Address: BOYUP BROOK WA 6244		Drawing No: 2 OF 7		Sheet No: SP-02	
Issued For Review	JB	29/01/20	Checked: KPO	Date:	
Rev	Description	Drawn	Date	Checked	Date

SCALE 1:50

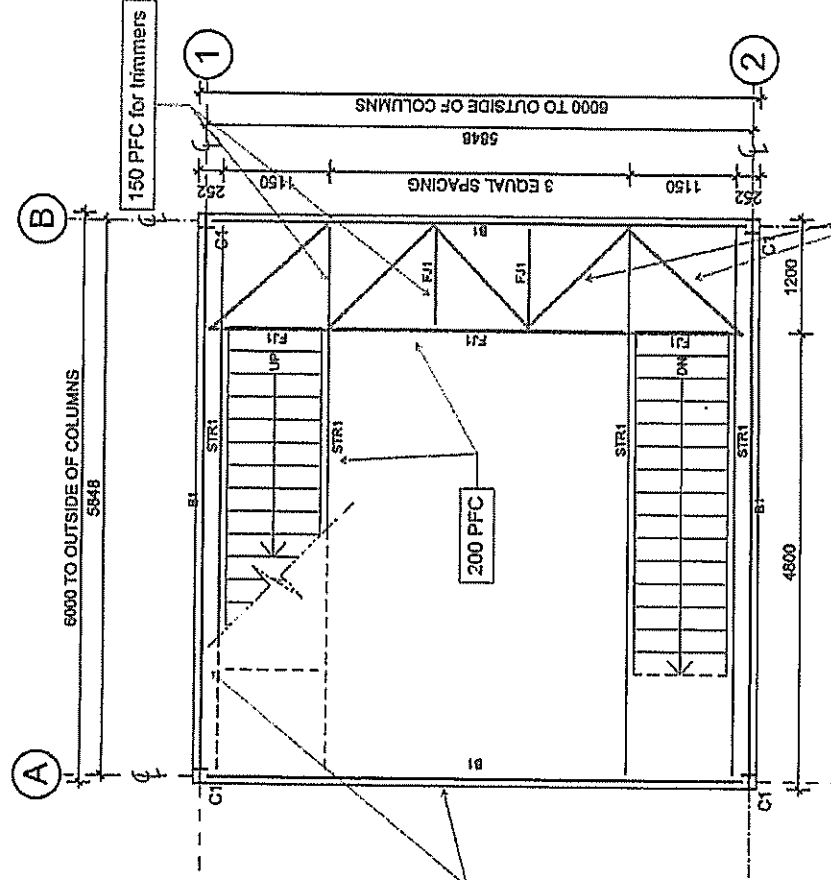
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SIXTH LEVEL LAYOUT

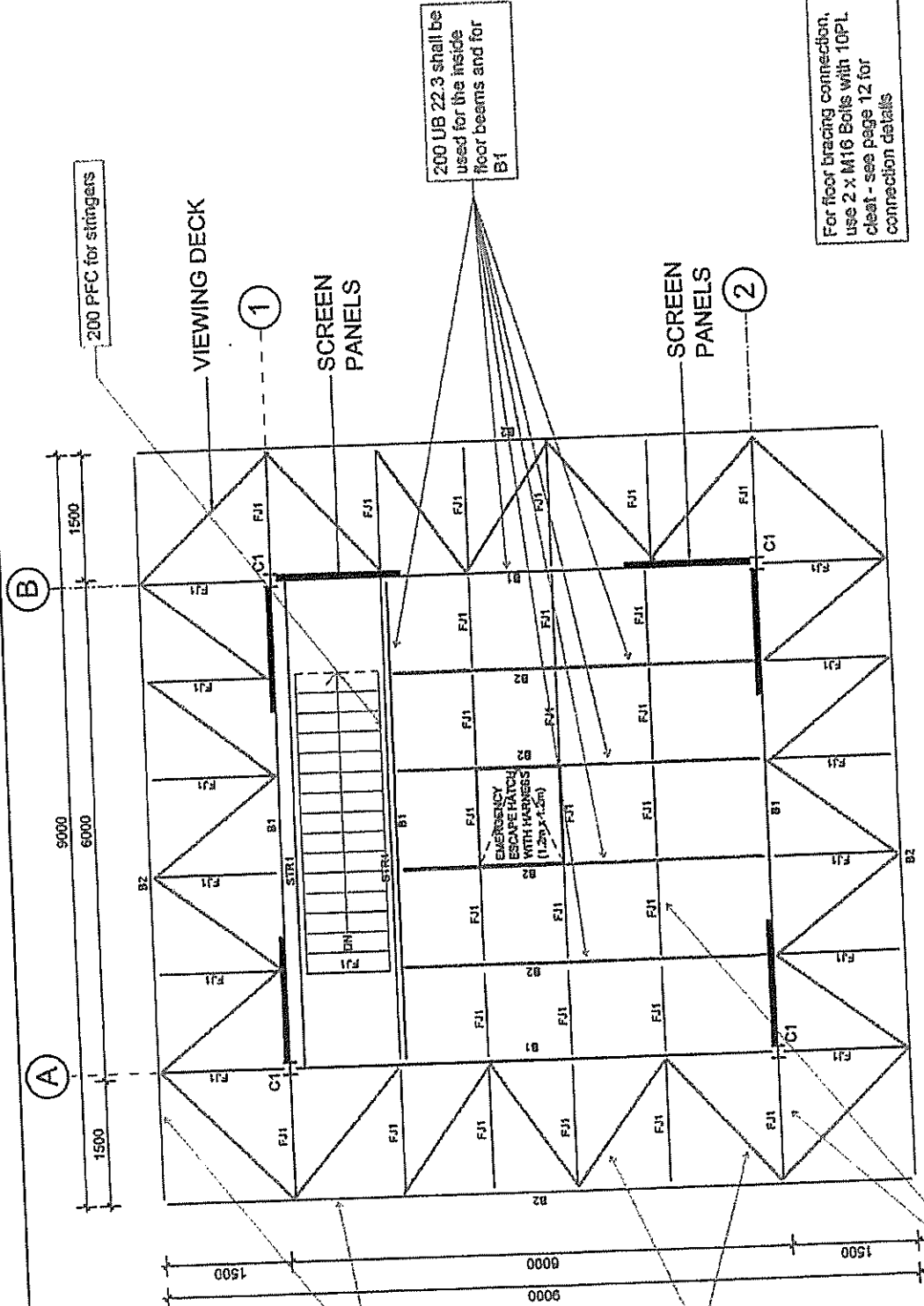
SCALE 1:50



SEVENTH LEVEL LAYOUT

SCALE 1:50

SIXTH & SEVENTH FLOOR PLAN		15 Hansen St. Madison WA 9109 Tel: 08 9459 2259 W: www.gridconstruction.com.au		Revision	A
Job Title: PROPOSED COOP TOWER FOR DFD RHODES		Drawing No: 5 OF 7		Sheet No: SP-05	Scale: AS SHOWN
Site Address: BOYUP BROOK WA 6244		Drawing No: 5 OF 7		Sheet No: SP-05	Scale: AS SHOWN
Issued for Review		Checked: KPO		Date:	
Rev		Description		Date	
A		JB		23/01/20	



EIGHT LEVEL LAYOUT(VIEWING DECK 2)

SCALE 1:50

For floor bracing connection, use 2 x M16 Bolts with 10PL cleat - see page 12 for connection details

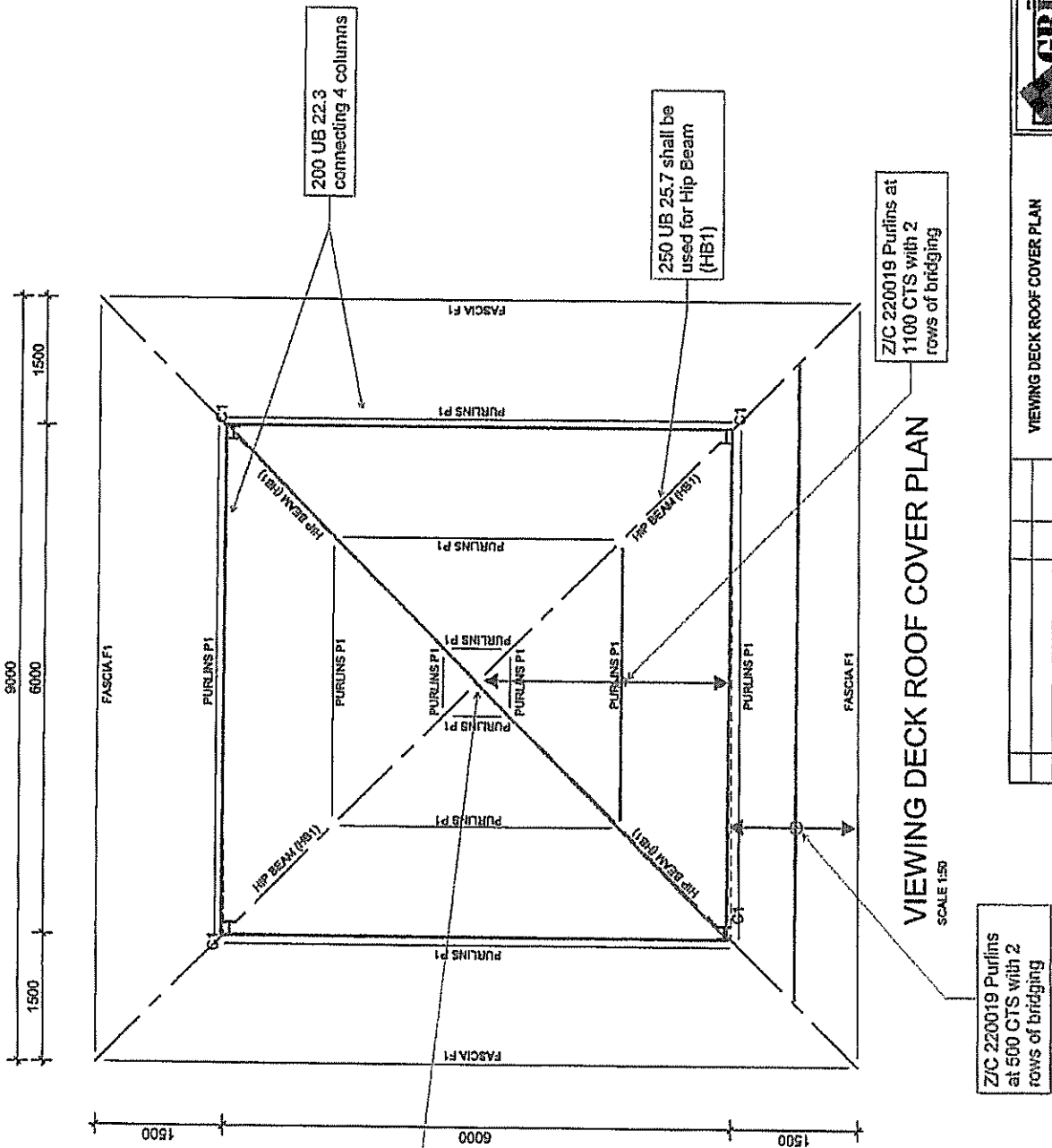
200 UB 22.3 shall be used for the inside floor beams and for B1

200 PFC shall be used for outside floor beams (B2)

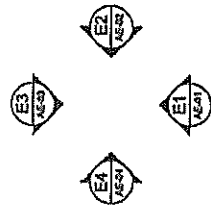
50*5 EA shall be used for floor bracing as shown

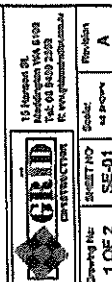
150 PFC shall be used for all trimmers

		15 Harrison St. Modelling WA 6109 Tel: 08 9459 2559 W: www.gridconstructing.com.au	
EIGHT FLOOR PLAN(VIEWING DECK 2)		Job Title: PROPOSED COOP TOWER FOR DFD RHODES	
Drawing No: 5 OF 7		Site Address: BOYUP BROOK WA 6244	
SHEET NO: SP-06		Checked: Date:	
Scale: AS SHOWN		Revision: A	
Rev	Description	Drawn	Date
A	ISSUED FOR REVIEW	JB	22/01/20



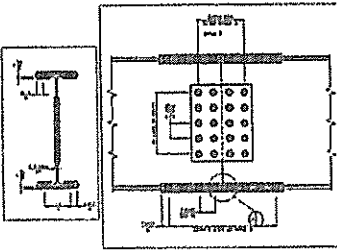
		15 Hanson St Macquarie Park NSW 1513 Tel: 02 9459 1559 W: www.gridconstruction.com.au		Revision	A
VIEWING DECK ROOF COVER PLAN		Job Title: PROPOSED COOP TOWER FOR DFD RHODES		Drawing No:	7 OF 7
		Site Address: BOYUP BROOK WA 6244		SHEET NO:	SP-07
		Checked: KPO Date:		Scale:	AS SHOWN
		Drawn: JB Date:			
		Description			
Rev	A	ISSUED FOR REVIEW			



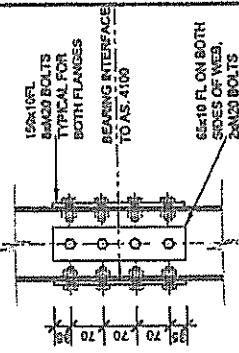


Columns are connected to pedestals (See Hold Down Details) and connected to footing as shown:

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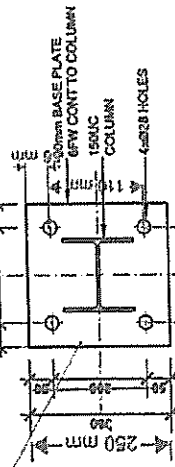


SECTIONAL PLAN
SCALE 1:10

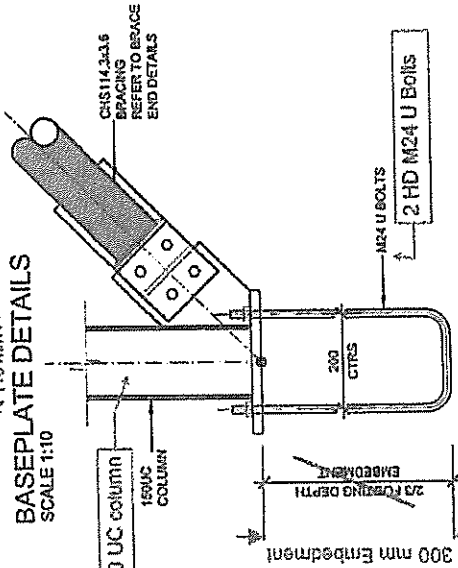


150UC COLUMN SPLICE DETAILS
SCALE 1:10
NOTE: ALL BOLTS TO BE 8.8/7B U.N.O.

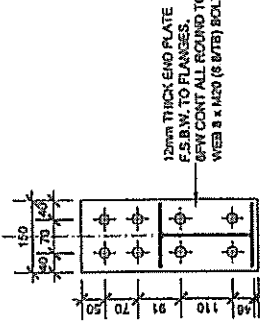
Base plate shall be 250 x 250 x 20mm



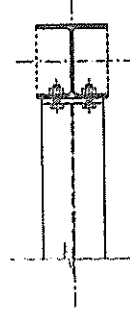
BASEPLATE DETAILS
SCALE 1:10



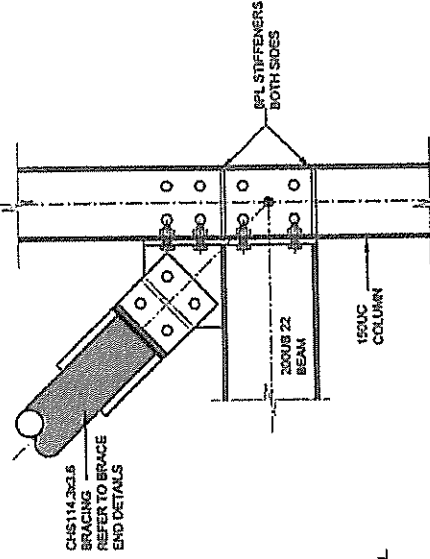
HOLD DOWN BOLTS DETAILS
SCALE 1:10



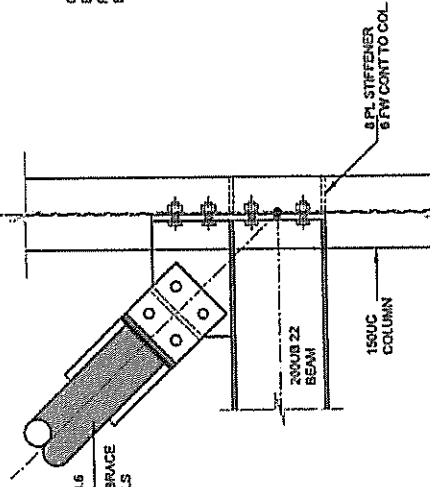
BEAM END PLATE
SCALE 1:10



TOP VIEW
SCALE 1:10



BEAM TO COLUMN DETAILS
(FLANGE FIXING)
SCALE 1:10

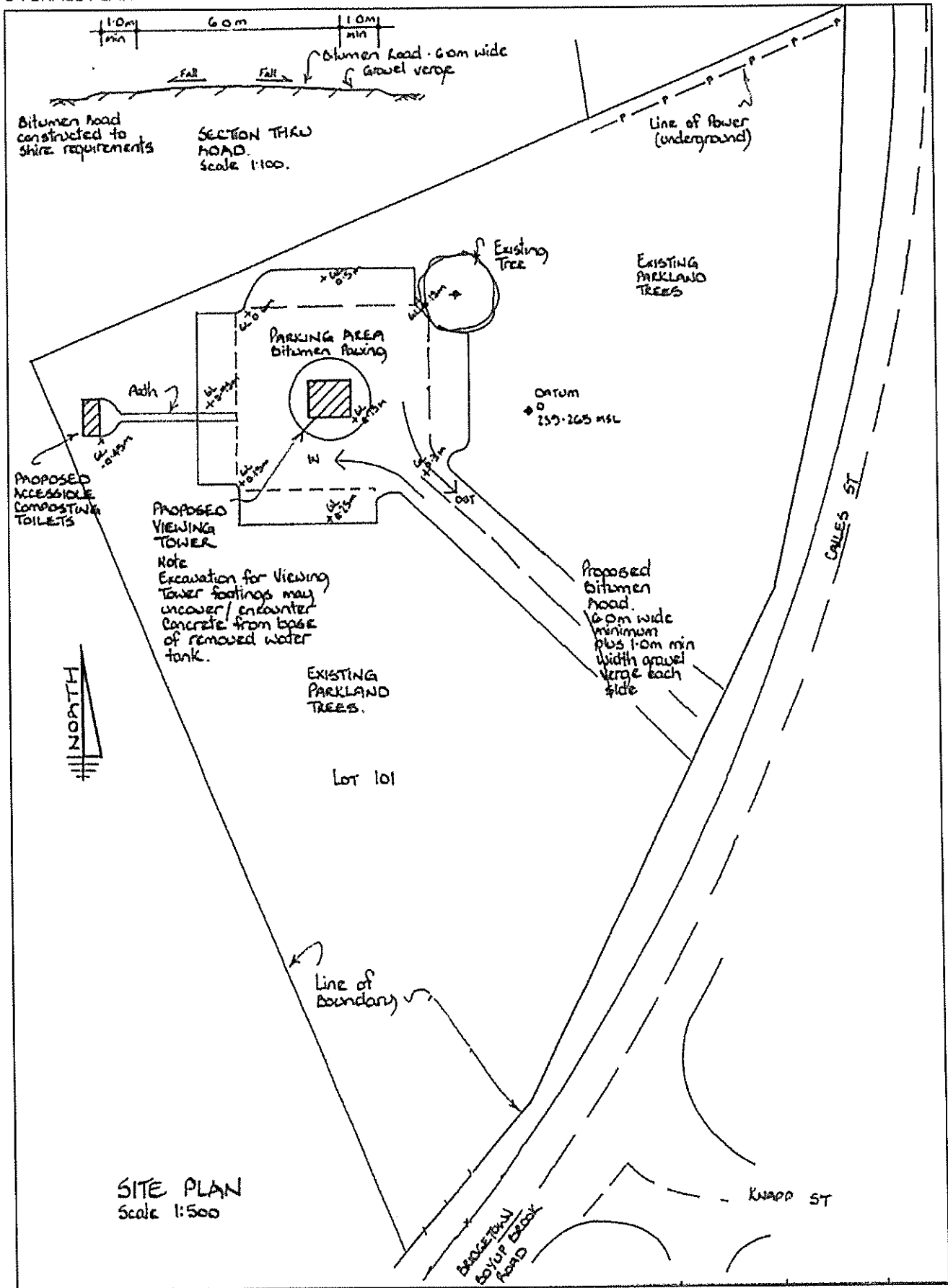


BEAM TO COLUMN DETAILS
(WEB FIXING)
SCALE 1:10

STRUCTURAL DETAILS 1		15 Hanson St Meddingham WA 6109 Tel: 08 9459 2559 W: www.gridconstruction.com.au	
Job Title:	PROPOSED COOP TOWER FOR DFO RHODES	Sheet No:	ST-01
Site Address:	BOYUP BROOK WA 6244	Scale:	AS SHOWN
Drawn:	J.B.	Checked:	AS SHOWN
Date:	23/01/20	Revision:	A
Rev	Description	1 OF 2	

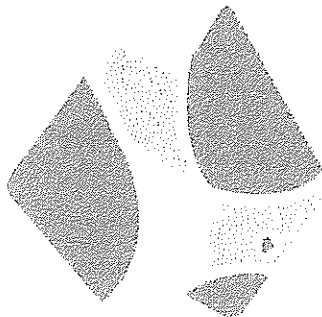
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OVERALL PLAN





Boyup Brook Viewing Tower
CITY OF BOYUP BROOK
ECONOMIC IMPACT ANALYSIS SOUTH WEST & WESTERN AUSTRALIA



FIONA FITZGERALD
3RD SEPTEMBER 2020
RDA-South West

Economic Impact Analysis

Boyup Brook Viewing Tower

Prepared by

Fiona Fitzgerald MBA
Regional Economic Planner
Regional Development Australia- South West
Phone: 08 9791 1111
remplan@rdasouthwest.com.au



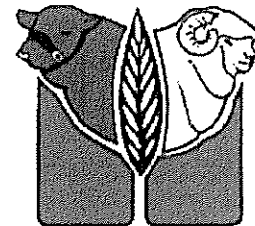
Utilising REMPLAN Economy

REMPAN provides valuable insights into the performance of key sectors in your region's economy. Underpinned by the latest data from the Australian Bureau of Statistics (ABS), REMPLAN Economy delivers estimates of employment, output, wages & salaries, imports, exports and gross regional product for 114 industries



On behalf of

The Shire of Boyup Brook



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Detailed Impact – Western Australia	12
Impact on Output	12
Impact on Employment	12
Impact on Wages and Salaries	13
Impact on Value-Added	14
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Project total impact summary

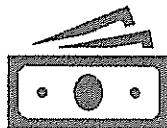
The proposed Boyup Brook Viewing Tower represents the following impacts to the **Western Australian** economy:



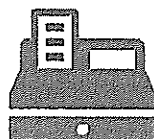
\$1.495m Output boost during
Construction (direct, supply &
consumption impact)



3 FTE jobs created (direct &
indirect – annual FTE impact)



\$257.8k Wages and salaries uplift



\$514.8k Value add - Construction



Project total impact summary

The proposed Boyup Brook Viewing Tower represents the following impacts to the South West economy:



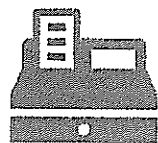
\$1.240m Output boost during
Construction (direct, supply &
consumption impact)



2 FTE jobs created (direct &
indirect – annualised)



\$202.5k Wages and salaries uplift



\$401.5k Value add - Construction



Impact Scenario – Construction Phase

Data Assumption

The figures used for this modelling are taken from data supplied by the Shire of Boyup Brook for the build and construct of a viewing tower based in the Boyup Brook Local Government Area.

The data modelling has been assessed against the impact to the South West region of Western Australia and Western Australia as a whole, taking into account imports from outside the immediate region being assessed.

The net figure used for this data modelling is \$569,362. The figure of \$569,362 consists of:

Item	Amount
Surveying	\$3,022
Engineering	\$2,450
Footing excavation	\$15,000
Concrete	\$34,680
Road and carpark construction	\$67,210
Planning and licensing fees	\$2,200
Electrical and Lighting	\$20,000
Landscaping, pathways	\$12,000
Construction of tower	\$374,800
Toilets	\$30,000
Signage	\$8,000
Total	\$ 569,362.00



Impact Summary – South West

Impact Summary	Direct Effect	Supply-Chain Effect	Consumption Effect	Total Effect	Type 1 Multiplier	Type 2 Multiplier
Output (\$K)	\$569.362	\$517.823	\$153.344	\$1,240.529	1.909	2.179
Employment (Jobs)	1	1	0	2	2.000	2.000
Wages and Salaries (\$K)	\$61.247	\$106.044	\$35.265	\$202.556	2.731	3.307
Value-added (\$K)	\$123.343	\$191.500	\$86.671	\$401.514	2.553	3.255

Under this scenario Gross Regional Product is estimated to increase by \$401.514 thousand. Contributing to this is a direct increase in output of \$569.362 thousand, 1 additional job, \$61.247 thousand more in wages and salaries and a boost in value-added of \$123.343 thousand.

From this direct expansion in the economy, flow-on supply-chain effects in terms of local purchases of goods and services are anticipated, and it is estimated that these indirect impacts would result in a further increase to output valued at \$517.823 thousand, 1 more job, \$106.044 thousand more paid in wages and salaries, and a gain of \$191.500 thousand in terms of value-added.

These supply-chain effects represent the following Type 1 economic multipliers:

Impact	Type 1 Multipliers
Output	1.909
Employment	2.000
Wages and Salaries	2.731
Value-added	2.553

The increase in direct and indirect output and the corresponding change in jobs in the economy are expected to result in an increase in the wages and salaries paid to employees. A proportion of these wages and salaries are typically spent on consumption and a proportion of this expenditure is captured in the local economy. The consumption effects under the scenario are expected to further boost output by \$153.344 thousand, employment by 0 jobs, wages and salaries by \$35.265 thousand, and value-added by \$86.671 thousand.

Under this scenario, total output is expected to rise by \$1,240.529 thousand. Corresponding to this are anticipated increases in employment of 2 jobs, \$202.556 thousand wages and salaries, and \$401.514 thousand in terms of value-added.

The total changes to economic activity represent the following Type 2 economic multipliers:

Impact	Type 2 Multipliers
Output	2.179
Employment	2.000
Wages and Salaries	3.307
Value-added	3.255



Impact Summary – Western Australia

Impact Summary	Direct Effect	Supply-Chain Effect	Consumption Effect	Total Effect	Type 1 Multiplier	Type 2 Multiplier
Output (\$K)	\$569.362	\$649.745	\$276.819	\$1,495.925	2.141	2.627
Employment (Jobs)	1	1	1	3	2.000	3.000
Wages and Salaries (\$K)	\$61.247	\$134.001	\$62.582	\$257.830	3.188	4.210
Value-added (\$K)	\$123.343	\$245.019	\$146.469	\$514.831	2.986	4.174

Under this scenario Gross Regional Product is estimated to increase by \$514.831 thousand. Contributing to this is a direct increase in output of \$569.362 thousand, 1 additional job, \$61.247 thousand more in wages and salaries and a boost in value-added of \$123.343 thousand.

From this direct expansion in the economy, flow-on supply-chain effects in terms of local purchases of goods and services are anticipated, and it is estimated that these indirect impacts would result in a further increase to output valued at \$649.745 thousand, 1 more job, \$134.001 thousand more paid in wages and salaries, and a gain of \$245.019 thousand in terms of value-added.

These supply-chain effects represent the following Type 1 economic multipliers:

Impact	Type 1 Multipliers
Output	2.141
Employment	2.000
Wages and Salaries	3.188
Value-added	2.986

The increase in direct and indirect output and the corresponding change in jobs in the economy are expected to result in an increase in the wages and salaries paid to employees. A proportion of these wages and salaries are typically spent on consumption and a proportion of this expenditure is captured in the local economy. The consumption effects under the scenario are expected to further boost output by \$276.819 thousand, employment by 1 job, wages and salaries by \$62.582 thousand, and value-added by \$146.469 thousand.

Under this scenario, total output is expected to rise by \$1,495.925 thousand. Corresponding to this are anticipated increases in employment of 3 jobs, \$257.830 thousand wages and salaries, and \$514.831 thousand in terms of value-added.

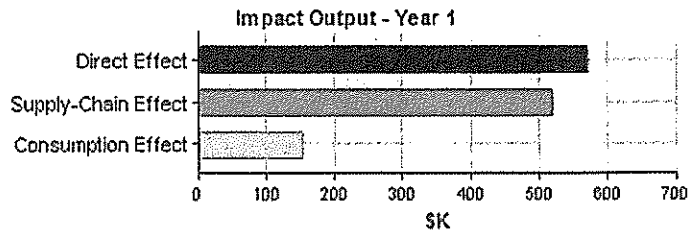
The total changes to economic activity represent the following Type 2 economic multipliers:

Impact	Type 2 Multipliers
Output	2.627
Employment	3.000
Wages and Salaries	4.210
Value-added	4.174



Detailed Impact – South West

Impact on Output



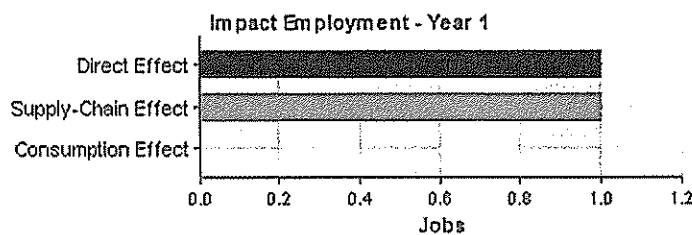
	Direct Effect	Supply-Chain Effect	Consumption Effect	Total Effect	Type 1 Multiplier	Type 2 Multiplier
Year 1	\$569.362	\$517.823	\$153.344	\$1,240.529	1.909	2.179

From a direct increase in output of \$569.362 thousand it is estimated that the demand for intermediate goods and services would rise by \$517.823 thousand. These supply-chain effects include multiple rounds of flow-on effects, as servicing sectors increase their own output and demand for local goods and services in response to the direct change to the economy.

The increases in direct and indirect output would typically correspond to the creation of jobs in the economy. Corresponding to this change in employment would be an increase in the total of wages and salaries paid to employees. A proportion of these wages and salaries are typically spent on consumption and a proportion of this expenditure is captured in the local economy. The consumption effects under this scenario are estimated at \$153.344 thousand.

Total output, including all direct, supply-chain and consumption effects is estimated to increase by up to \$1,240.529 thousand.

Impact on Employment



	Direct Effect	Supply-Chain Effect	Consumption Effect	Total Effect	Type 1 Multiplier	Type 2 Multiplier
Year 1	1	1	0	2	2.000	2.000

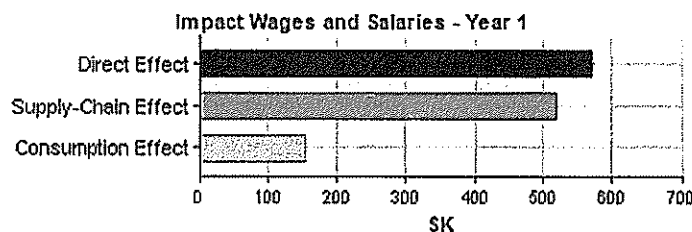


From a direct increase in output of \$569.362 thousand the corresponding creation of direct jobs is estimated at 1 job. From this direct expansion in the economy, flow-on supply-chain effects in terms of local purchases of goods and services are anticipated, and it is estimated that these indirect impacts would result in the gain of a further 1 job.

The increase in direct and indirect output and the corresponding creation of jobs in the economy are expected to result in an increase in the wages and salaries paid to employees. A proportion of these wages and salaries are typically spent on consumption and a proportion of this expenditure is captured in the local economy. The consumption effects under this scenario are estimated to further boost employment by 0 jobs.

Total employment, including all direct, supply-chain and consumption effects is estimated to increase by up to 2 jobs.

Impact on Wages and Salaries



	Direct Effect	Supply-Chain Effect	Consumption Effect	Total Effect	Type 1 Multiplier	Type 2 Multiplier
Year 1	\$61.247	\$106.044	\$35.265	\$202.556	2.731	3.307

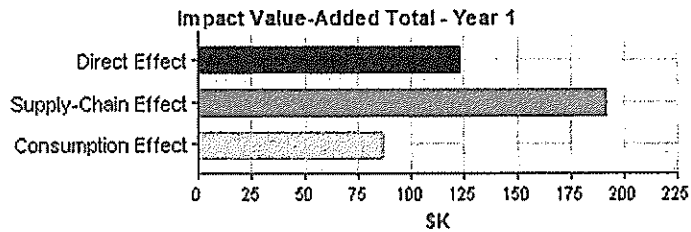
From a direct increase in output of \$569.362 thousand it is estimated that direct wages and salaries would increase by \$61.247 thousand. From this direct impact on the economy, flow-on supply-chain effects in terms of local purchases of goods and services are anticipated, and it is estimated that these indirect impacts would result in the net increase in wages and salaries of \$106.044 thousand paid to workers.

The net increase in direct and indirect output and the corresponding jobs in the economy are expected to correspond to an increase in the wages and salaries paid to employees. A proportion of these wages and salaries are typically spent on consumption and a proportion of this expenditure is captured in the local economy. The consumption effects under this scenario are expected to result in an overall increase in wages and salaries by \$35.265 thousand.

Total wages and salaries, including all direct, supply-chain and consumption effects is estimated to increase by up to \$202.556 thousand.



Impact on Value-Added



	<i>Direct Effect</i>	<i>Supply-Chain Effect</i>	<i>Consumption Effect</i>	<i>Total Effect</i>	<i>Type 1 Multiplier</i>	<i>Type 2 Multiplier</i>
Year 1	\$123.343	\$191.500	\$86.671	\$401.514	2.553	3.255

From a direct increase in output of \$569.362 thousand the corresponding increase in direct value-added is estimated at \$123.343 thousand. From this direct expansion in the economy, flow-on supply-chain effects in terms of local purchases of goods and services are anticipated, and it is estimated that these indirect impacts would result in a further increase to value-added of \$191.500 thousand.

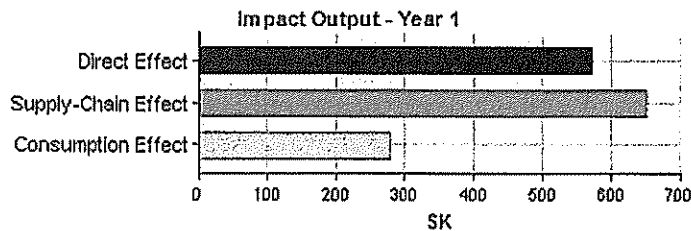
The increase in direct and indirect output and the corresponding boost to jobs in the economy are expected to result in an increase in the wages and salaries paid to employees. A proportion of these wages and salaries are typically spent on consumption and a proportion of this expenditure is captured in the local economy. The consumption effects under this scenario are expected to further boost value-added by \$86.671 thousand.

Total value-added, including all direct, supply-chain and consumption effects is estimated to increase by up to \$401.514 thousand.



Detailed Impact – Western Australia

Impact on Output



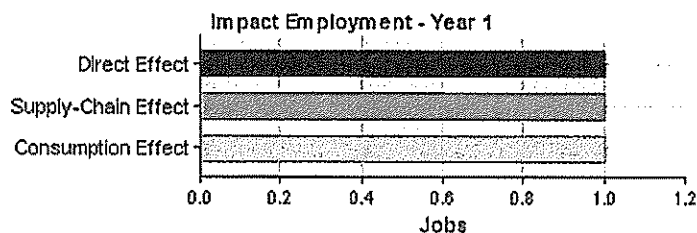
	Direct Effect	Supply-Chain Effect	Consumption Effect	Total Effect	Type 1 Multiplier	Type 2 Multiplier
Year 1	\$569.362	\$649.745	\$276.819	\$1,495.925	2.141	2.627

From a direct increase in output of \$569.362 thousand it is estimated that the demand for intermediate goods and services would rise by \$649.745 thousand. These supply-chain effects include multiple rounds of flow-on effects, as servicing sectors increase their own output and demand for local goods and services in response to the direct change to the economy.

The increases in direct and indirect output would typically correspond to the creation of jobs in the economy. Corresponding to this change in employment would be an increase in the total of wages and salaries paid to employees. A proportion of these wages and salaries are typically spent on consumption and a proportion of this expenditure is captured in the local economy. The consumption effects under this scenario are estimated at \$276.819 thousand.

Total output, including all direct, supply-chain and consumption effects is estimated to increase by up to \$1,495.925 thousand.

Impact on Employment



	Direct Effect	Supply-Chain Effect	Consumption Effect	Total Effect	Type 1 Multiplier	Type 2 Multiplier
Year 1	1	1	1	3	2.000	3.000

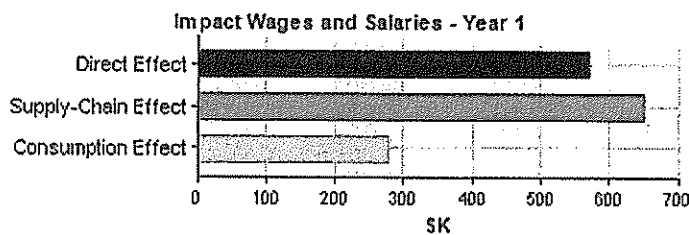


From a direct increase in output of \$569.362 thousand the corresponding creation of direct jobs is estimated at 1 job. From this direct expansion in the economy, flow-on supply-chain effects in terms of local purchases of goods and services are anticipated, and it is estimated that these indirect impacts would result in the gain of a further 1 job.

The increase in direct and indirect output and the corresponding creation of jobs in the economy are expected to result in an increase in the wages and salaries paid to employees. A proportion of these wages and salaries are typically spent on consumption and a proportion of this expenditure is captured in the local economy. The consumption effects under this scenario are estimated to further boost employment by 1 job.

Total employment, including all direct, supply-chain and consumption effects is estimated to increase by up to 3 jobs.

Impact on Wages and Salaries



	Direct Effect	Supply-Chain Effect	Consumption Effect	Total Effect	Type 1 Multiplier	Type 2 Multiplier
Year 1	\$61.247	\$134.001	\$62.582	\$257.830	3.188	4.210

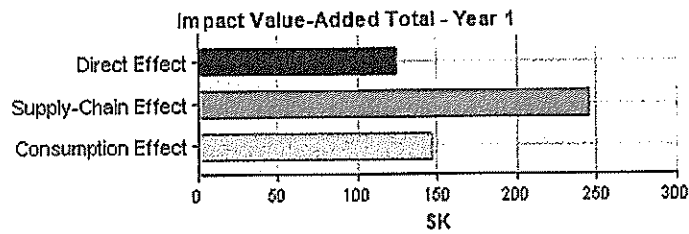
From a direct increase in output of \$569.362 thousand it is estimated that direct wages and salaries would increase by \$61.247 thousand. From this direct impact on the economy, flow-on supply-chain effects in terms of local purchases of goods and services are anticipated, and it is estimated that these indirect impacts would result in the net increase in wages and salaries of \$134.001 thousand paid to workers.

The net increase in direct and indirect output and the corresponding jobs in the economy are expected to correspond to an increase in the wages and salaries paid to employees. A proportion of these wages and salaries are typically spent on consumption and a proportion of this expenditure is captured in the local economy. The consumption effects under this scenario are expected to result in an overall increase in wages and salaries by \$62.582 thousand.

Total wages and salaries, including all direct, supply-chain and consumption effects is estimated to increase by up to \$257.830 thousand.



Impact on Value-Added



	<i>Direct Effect</i>	<i>Supply- Chain Effect</i>	<i>Consumption Effect</i>	<i>Total Effect</i>	<i>Type 1 Multiplier</i>	<i>Type 2 Multiplier</i>
Year 1	\$123.343	\$245.019	\$146.469	\$514.831	2.986	4.174

From a direct increase in output of \$569.362 thousand the corresponding increase in direct value-added is estimated at \$123.343 thousand. From this direct expansion in the economy, flow-on supply-chain effects in terms of local purchases of goods and services are anticipated, and it is estimated that these indirect impacts would result in a further increase to value-added of \$245.019 thousand.

The increase in direct and indirect output and the corresponding boost to jobs in the economy are expected to result in an increase in the wages and salaries paid to employees. A proportion of these wages and salaries are typically spent on consumption and a proportion of this expenditure is captured in the local economy. The consumption effects under this scenario are expected to further boost value-added by \$146.469 thousand.

Total value-added, including all direct, supply-chain and consumption effects is estimated to increase by up to \$514.831 thousand.



Disclaimer

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Using ABS datasets and an input / output methodology industrial economic data estimates for defined geographic regions are generated.

The software also incorporates a region-specific economic impact modelling feature that was first developed at La Trobe University, with continued development from December 2006 by REMPLAN. This feature generates estimates of indirect or flow-on impacts from a direct change to an economy.

This software is provided in good faith with every effort made to provide accurate data and apply comprehensive knowledge. However, REMPLAN does not guarantee the accuracy of data nor the conclusions drawn from this information. A decision to pursue any action in any way related to the figures, data and commentary presented in this software is wholly the responsibility of the party concerned. REMPLAN advises any party to conduct detailed feasibility studies and seek professional advice before proceeding with any such action and accept no responsibility for the consequences of pursuing any such action.



Tourism Impact Summary Boyup Brook

Boyup Brook Viewing Tower

Prepared by

Fiona Fitzgerald MBA
Regional Economic Planner
Regional Development Australia- South We



**Regional
Development**
Australia

Tourism Impact Scenario

Name **Boyup Brook Viewing Tower**

Duration 365 days

Direct Impact	Domestic Day
Number of Visitors	2,823
Estimated Expenditure per Visitor (\$)	\$121
Total Estimated Expenditure (\$)	\$341,583

Tourism Impact Summary (Tourism Activity: 365 days)

Impact	Direct Effect	Supply-Chain Effect	Consumption Effect	Total Effect	Type 1 Multiplier	Type 2 Multiplier
Output (\$K)	\$341.583	\$53.272	\$40.983	\$435.839	1.156	1.276
Long Term Employment (Jobs)	1	0	0	1	1.000	1.000
Wages and Salaries (\$K)	\$84.127	\$14.123	\$7.881	\$106.131	1.168	1.262
Value-added (\$K)	\$151.282	\$25.797	\$27.113	\$204.192	1.171	1.350

Under this scenario Gross Regional Product is estimated to increase by \$204.192 thousand (0.15%) to \$132,672.804 thousand. Contributing to this is a direct increase in output of \$341.583 thousand, 1 additional job, \$84.127 thousand more in wages and salaries and a boost in value-added of \$151.282 thousand.

From this direct expansion in the economy, flow-on supply-chain effects in terms of local purchases of goods and services are anticipated, and it is estimated that these indirect impacts would result in a further increase to output valued at \$53.272 thousand, 0 more jobs, \$14.123 thousand more paid in wages and salaries, and a gain of \$25.797 thousand in terms of value-added.

These supply-chain effects represent the following Type 1 economic multipliers:

Impact	Type 1 Multipliers
Output	1.156
Employment	1.000
Wages and Salaries	1.168
Value-added	1.171

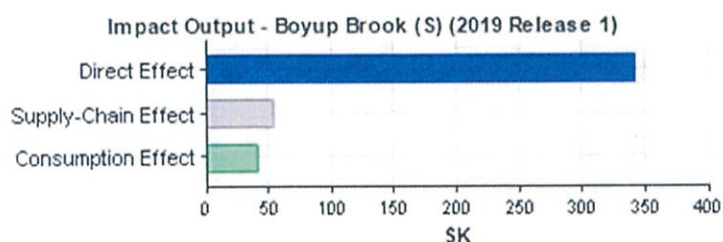
The increase in direct and indirect output and the corresponding creation of jobs in the economy are expected to result in an increase in the wages and salaries paid to employees. A proportion of these wages and salaries are typically spent on consumption and a proportion of this expenditure is captured in the local economy. The consumption effects under the scenario are expected to further boost output by \$40.983 thousand, employment by 0 jobs, wages and salaries by \$7.881 thousand, and value-added by \$27.113 thousand.

Under this scenario, total output is expected to rise by \$435.839 thousand. Corresponding to this are anticipated increases in employment of 1 job, \$106.131 thousand wages and salaries, and \$204.192 thousand in terms of value-added.

The total changes to economic activity represent the following Type 2 economic multipliers:

Impact	Type 2 Multipliers
Output	1.276
Employment	1.000
Wages and Salaries	1.262
Value-added	1.350

Tourism Impact on Output

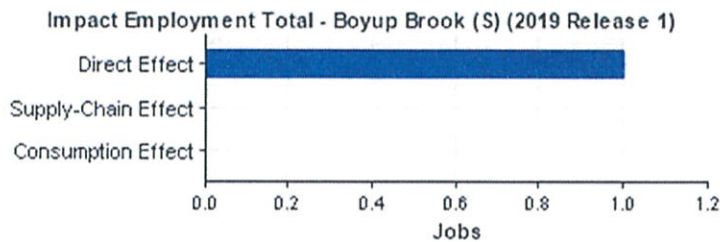


From a direct increase in output of \$341.583 thousand it is estimated that the demand for intermediate goods and services would rise by \$53.272 thousand. This represents a Type 1 Output multiplier of 1.156. These supply-chain effects include multiple rounds of flow-on effects, as servicing sectors increase their own output and demand for local goods and services in response to the direct change to the economy.

The increases in direct and indirect output would typically correspond to the creation of jobs in the economy for the duration of the tourism activity. Corresponding to this change in employment would be an increase in the total of wages and salaries paid to employees. A proportion of these wages and salaries are typically spent on consumption and a proportion of this expenditure is captured in the local economy. The consumption effects under this scenario are estimated at \$40.983 thousand.

Per annum the total output, including all direct, supply-chain and consumption effects is estimated to increase by up to \$435.839 thousand.

Tourism Impact on Employment

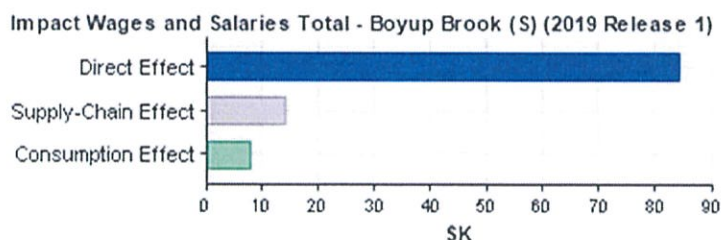


From a direct increase in output of \$341.583 thousand the corresponding creation of direct jobs for the duration of the tourism activity is estimated at 1 job. In the longer term (over a 12-month period) this level of demand / output would typically correspond to 1 job. From this direct expansion in the economy, flow-on supply-chain effects in terms of local purchases of goods and services are anticipated, and it is estimated that these indirect impacts would result in the gain of a further 0 jobs.

The increase in direct and indirect output and the corresponding creation of jobs in the economy are expected to result in an increase in the wages and salaries paid to employees. A proportion of these wages and salaries are typically spent on consumption and a proportion of this expenditure is captured in the local economy.

On an annualised basis, total employment, including all direct, supply-chain and consumption effects is estimated to increase by up to 1 job.

Tourism Impact on Wages and Salaries

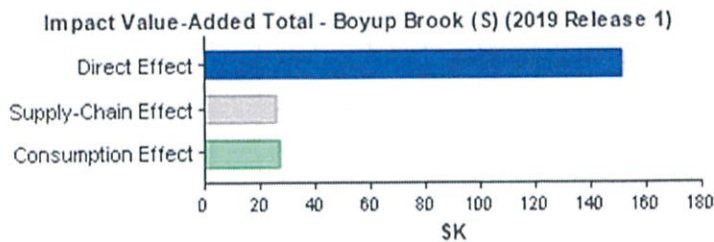


From a direct increase in output of \$341.583 thousand it is estimated that direct wages and salaries would increase by \$84.127 thousand. From this direct expansion in the economy, flow-on supply-chain effects in terms of local purchases of goods and services are anticipated, and it is estimated that these indirect impacts would result in the gain of a further 0 jobs and a further increase in wages and salaries of \$14.123 thousand.

The increase in direct and indirect output and the corresponding creation of jobs in the economy for the duration of the tourism activity are expected to result in an increase in the wages and salaries paid to employees. A proportion of these wages and salaries are typically spent on consumption and a proportion of this expenditure is captured in the local economy. The consumption effects under this scenario are expected to further boost employment in sectors such as retail therefore further increasing wages and salaries by \$7.881 thousand.

Per annum total wages and salaries, including all direct, supply-chain and consumption effects is estimated to increase by up to \$106.131 thousand.

Tourism Impact on Value-Added



From a direct increase in output of \$341.583 thousand the corresponding increase in direct value-added is estimated at \$151.282 thousand. From this direct expansion in the economy, flow-on supply-chain effects in terms of local purchases of goods and services are anticipated, and it is estimated that these indirect impacts would result in a further increase to value-added of \$25.797 thousand.

The increase in direct and indirect output and the corresponding boost to jobs in the economy for the duration of the tourism activity are expected to result in an increase in the wages and salaries paid to employees. A proportion of these wages and salaries are typically spent on consumption and a proportion of this expenditure is captured in the local economy. The consumption effects under this scenario are expected to further boost value-added by \$27.113 thousand.

Per annum total value-added, including all direct, supply-chain and consumption effects is estimated to increase by up to \$204.192 thousand.

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